



NEST EGG HOME SERVICES, LLC

(919) 436-4663

inspections@nestegghomes.com

<https://www.nestegghomes.com>



RESIDENTIAL REPORT

602 Williamsboro St
Oxford, Nc 27565

Tyler Woodside
03/17/2026



Inspector
Michael Bowen

A handwritten signature in blue ink, appearing to read "Michael Bowen".

NC Home Inspector #4639

(919) 436-4663

inspections@nestegghomes.com



Agent

Emily Osbahr
Compass

919-482-9266

emily@emilyosbahrrealestateco.com

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This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your North Carolina real estate agent or an attorney.



ITEMS INSPECTED



MAINTENANCE ITEM



DEFICIENCIES



MAJOR/SAFETY DEFECTS

SUMMARY

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- ⊖ 2.3.1 Exterior - Decks, Balconies, Porches & Steps: Deteriorated Mortar
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- ⚠ 12.3.1 Insulation and Ventilation - Flooring Insulation: No Insulation between floor joists
- 🔧 13.1.1 Fireplaces and Fuel-Burning Appliances - Fireplaces, Stoves & Inserts: Fireplace Present
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- ⊖ 13.3.3 Fireplaces and Fuel-Burning Appliances - Vents, Flues, & Chimneys: Damaged/Detached Brick on Chimney Structure

1: INSPECTION DETAILS

Information

Approximate Age 1946 Year Built	Aprx. Square Footage 2470	Ground Cover Damp
In Attendance Inspector, Client's Agent, Client	Main Entrance Facing North	Occupancy Furnished, Occupied
Style Multi-level	Temperature (approximate) 40 Fahrenheit (F)	Type of Building Single Family, Detached
Weather Conditions Clear		

2: EXTERIOR

		IN	NI	NP	D
2.1	Walkways, Patios & Driveways	X			
2.2	Vegetation, Grading, Drainage & Retaining Walls	X			X
2.3	Decks, Balconies, Porches & Steps	X			X
2.4	Exterior Doors	X			X
2.5	Eaves, Soffits & Fascia	X			X
2.6	Siding, Flashing & Trim	X			X
2.7	Gas Meter	X			X
2.8	Hose Bibs	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

Walkways, Patios & Driveways:
Driveway/Walkway Material

Gravel, Stone, Pavers

Decks, Balconies, Porches &
Steps: Appurtenance

Front Porch, Side steps, Back
Stoop

Decks, Balconies, Porches &
Steps: Material

Concrete, Brick

Exterior Doors: Exterior Entry
Door

Wood, Glass

Eaves, Soffits & Fascia: Material

Wood

Siding, Flashing & Trim:
Flashing/Trim Material

Wood

Siding, Flashing & Trim: Siding
Material

Brick Veneer

Hose Bibs: Operates

Yes

Limitations

General

LIMITED INSPECTION DUE TO ITEMS

Inspection limited due to homeowner items.

Defects

2.2.1 Vegetation, Grading, Drainage & Retaining Walls



Deficiencies

NEGATIVE GRADING

Grading was inspected. Grading is sloping towards the home in some areas. This can lead to water intrusion and foundation issues. Contact a qualified contractor to repair.

[Here is a helpful article](#) discussing negative grading.

Recommendation

Contact a qualified landscaping, grading, tree contractor



Back

2.3.1 Decks, Balconies, Porches & Steps

DETERIORATED MORTAR

Deficiencies

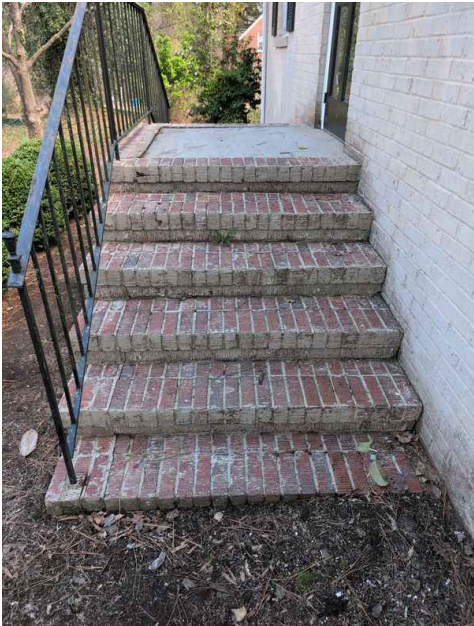
Inspected steps. There are areas of deteriorated/separated mortar joints at the steps. This can cause brick/stone to break free and allow moisture infiltration. Contact a qualified contractor to repair.

Recommendation

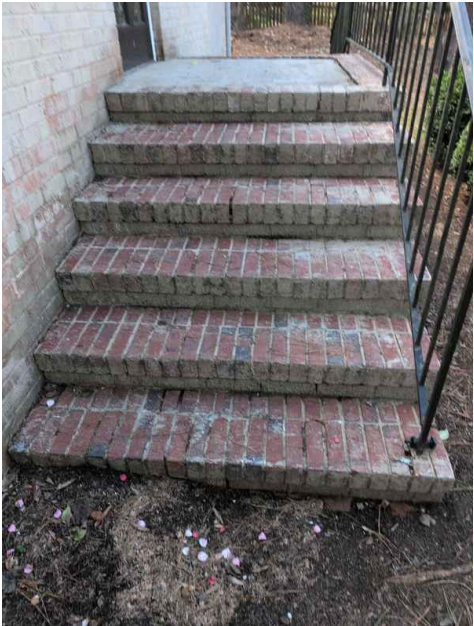
Contact a qualified general contractor.



Left



Front



Front

2.3.2 Decks, Balconies, Porches & Steps

CONCRETE CRACKING

Deficiencies

Exterior was inspected. Cracking was observed on concrete. This can get worse over time, creating function issues. Contact a qualified contractor to repair.

Recommendation

Contact a qualified concrete / driveway contractor



Back

2.3.3 Decks, Balconies, Porches & Steps



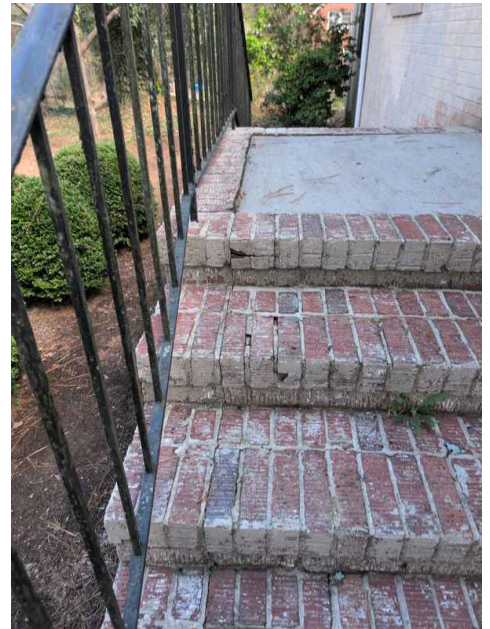
Deficiencies

DAMAGED/LOOSE BRICK/STONE

Inspected porch/entryway. There are damaged/loose bricks/ stones. This can get worse over time causing material to become detached. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.



Front

2.3.4 Decks, Balconies, Porches & Steps



Deficiencies

PORCH FOUNDATION CRACKS

Inspected front porch. There are cracks in the porch foundation. This can lead to further deterioration. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.



Left



Front

2.3.5 Decks, Balconies, Porches & Steps



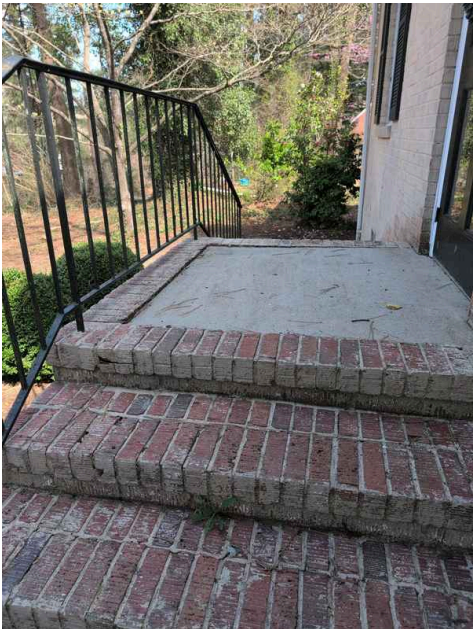
Deficiencies

PORCH SETTLING

Inspected porch. The concrete floor of porch shows signs of settling. This can lead to porch foundation damage. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.



Front

2.4.1 Exterior Doors

AIR LEAKAGE AROUND EXTERIOR DOORS

 Deficiencies

Exterior doors were inspected. There are one or more entry doors that have gaps around the frame. This can allow air, water and/or wildlife intrusion. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.



Back



Front

2.4.2 Exterior Doors

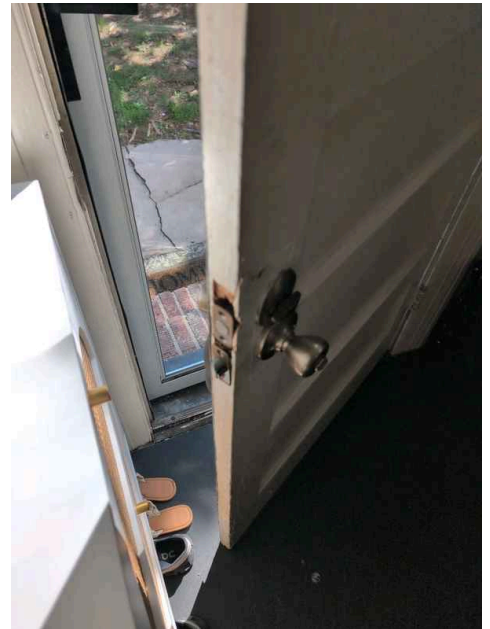
DAMAGED DOOR/FRAME

 Deficiencies

Inspected exterior doors. There are one or more doors and/or frames that have damage. This can make it difficult to properly open/close doors. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.



Back

2.4.3 Exterior Doors

EXTERIOR DOOR DIFFICULT TO LOCK

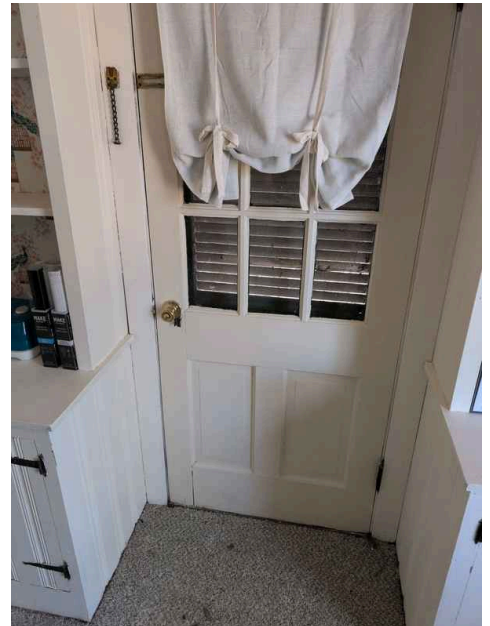


Deficiencies

Inspected exterior doors. There are one or more locks that do not function properly. This can prevent proper operation of locking mechanism. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.



Left

2.4.4 Exterior Doors

MOISTURE DAMAGED DOOR/TRIM

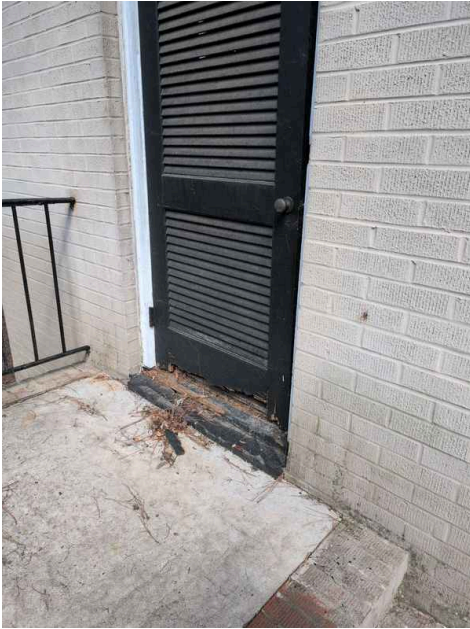


Deficiencies

Exterior doors were inspected. There are signs of moisture damage to door and/or trim. This can get worse causing function and structural issues with door. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.



Left

2.4.5 Exterior Doors

GAP AROUND DOOR TRIM

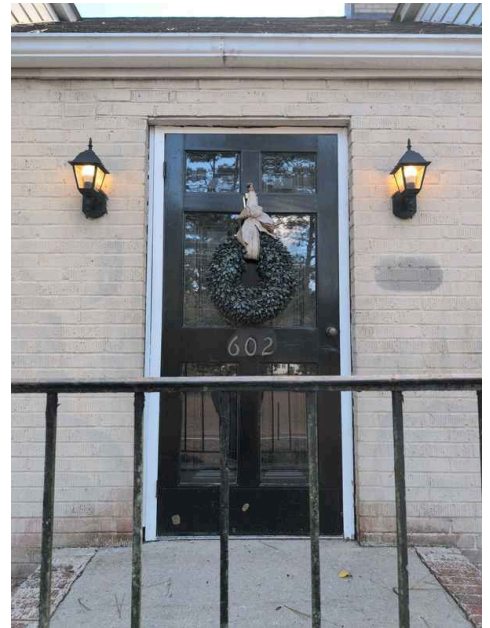
Exterior doors were inspected. There is a gap around door trim. This can allow moisture and air intrusion and/or limit function. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.



Deficiencies



Front

2.5.1 Eaves, Soffits & Fascia

EAVES, FASCIA & SOFFIT- DAMAGED

Inspected soffit and fascia system. One or more sections of the eaves/fascia system are damaged. This can allow moisture and/or wildlife into the structure area. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.



Deficiencies



Front



Left



Back



Back

2.5.2 Eaves, Soffits & Fascia

PAINTING/CAULKING NEEDED

Inspected soffits and fascia system. There are areas in need of paint and/or caulking. Weathered and unpainted/uncaulked surfaces can decrease the life of the material. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.





Right



Front

2.6.1 Siding, Flashing & Trim

LOOSE SIDING/TRIM

Inspected siding and/or trim. There are one or more areas around the home where the siding is not properly secure. This can allow the siding/trim to become detached during high winds and allow moisture penetration in the affected area. Contact a qualified contractor to repair.

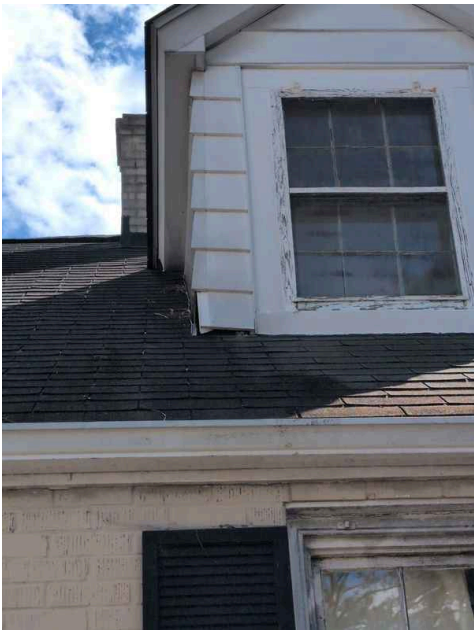
Recommendation

Contact a qualified general contractor.

 Deficiencies



Front



Front

2.6.2 Siding, Flashing & Trim

IMPROPER TRIM/SEALANT

 Major/Safety Defects

Inspected exterior of the home. There is improper trim/sealant on one or more sidewall penetrations on the exterior of the home. Improper trim/sealant can allow moisture into the wall structure and cause damage. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.



Back

2.6.3 Siding, Flashing & Trim

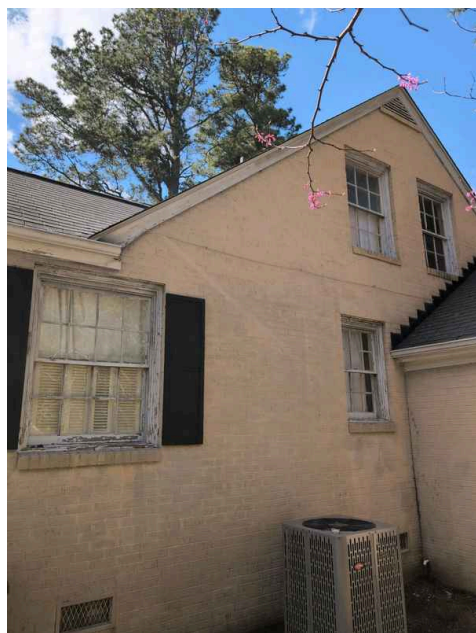
DAMAGED WINDOW TRIM/FRAME

Exterior part of the windows were inspected. There are one or more windows with damaged trim/frames. This can allow water intrusion and possibly cause window to not be as secure as needed. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.

Deficiencies



Right



Right



Front



Front



Back

2.6.4 Siding, Flashing & Trim

CRACKS IN BRICK VENEER

Inspected brick veneer. There is cracking at areas of the home. This can allow moisture infiltration and/or be sign of excessive movement. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.

**Deficiencies**

Front



Front



Back

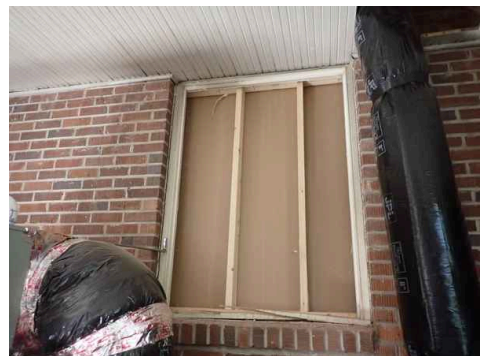
2.6.5 Siding, Flashing & Trim

EXPOSED WALL SHEATHING

Exterior was inspected. There are one or more sections of exposed sheathing. Unwanted moisture can get to sheathing causing damage. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.

**Deficiencies**

Utility room

2.7.1 Gas Meter



Deficiencies

GAS LINES NOT BONDED

Inspected fuel distribution lines. Gas pipes does not show any signs of being bonded to the home electrical system. Energized gas lines can cause an arcing concern. Contact a qualified contractor to repair.

Recommendation

Contact a qualified electrical contractor.



3: ROOFING

		IN	NI	NP	D
3.1	Coverings	X			X
3.2	Valleys	X			
3.3	Flashings	X			X
3.4	Skylights, Chimneys & Roof Penetrations	X			
3.5	Ventilation	X			
3.6	Roof Drainage Systems	X			X

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

Inspection Method Ground, Drone	Roof Type/Style Combination	Coverings: Material Asphalt, Rubber Membrane
Valleys: Material Asphalt	Flashings: Material Metal	Ventilation: Ventilation Type Soffit Vents, Ridge Vents
Roof Drainage Systems: Gutter Material Seamless Aluminum		

Picture of Roof

Pictures for informational purposes only.



Limitations

General
INSPECTION LIMITED

Not all areas of roof coverings and structure visible due to gutters and/or flashing.

Flashings
NOT ALL AREAS VISIBLE

Defects

3.1.1 Coverings

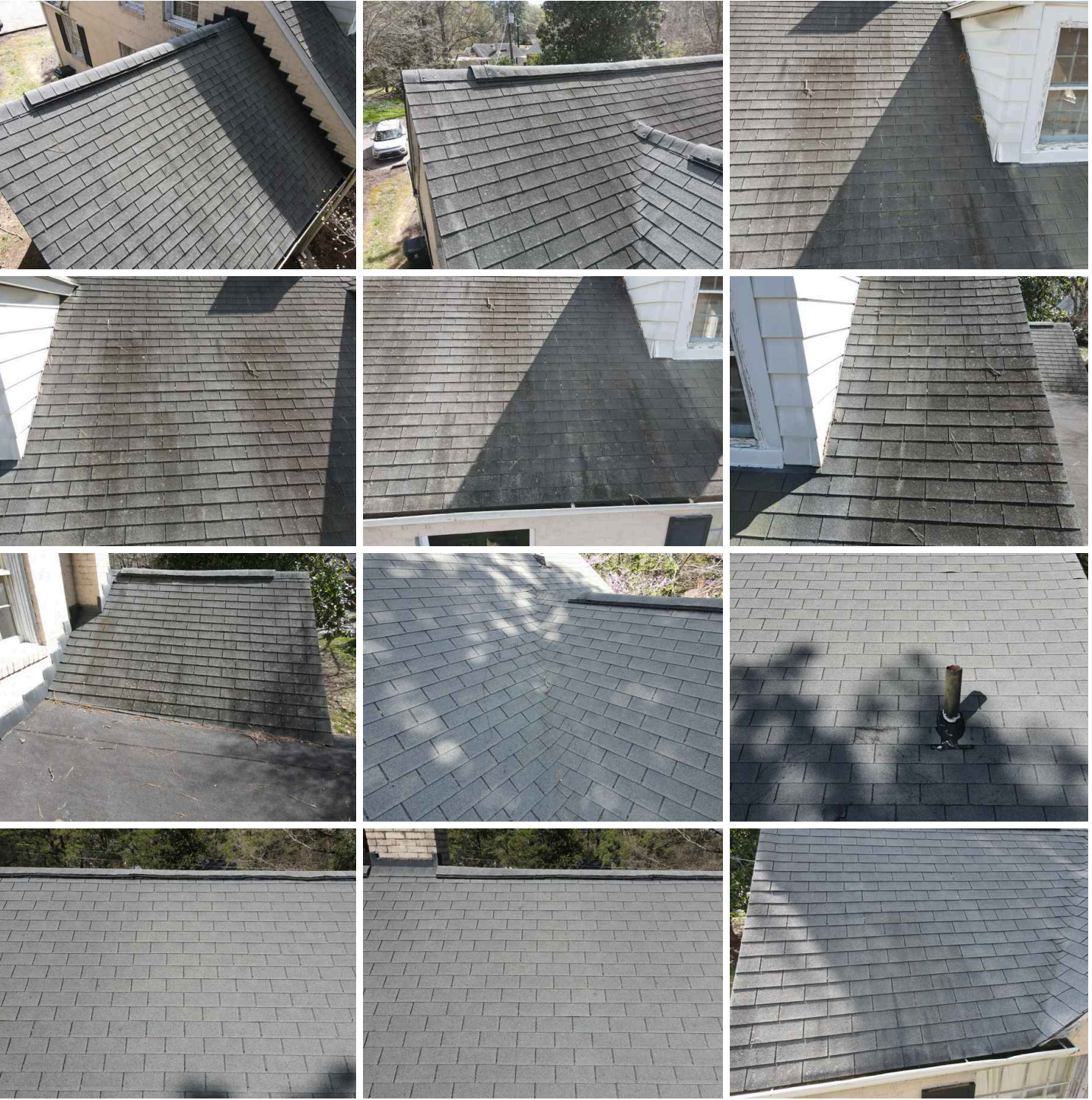
COVERINGS SHOWING SIGNS OF WEAR

Inspected roof coverings. The shingles are showing signs of wear. Excessive wear can affect the performance of the coverings and allow for leaks. Contact a qualified contractor to repair.

Recommendation

Contact a qualified roofing contractor

 Deficiencies



3.1.2 Coverings

RAISED SHINGLES

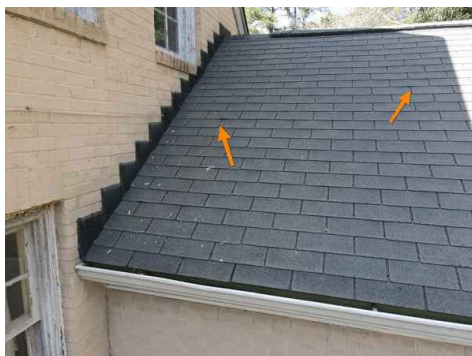
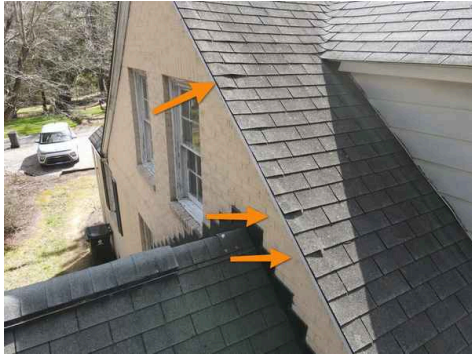
Inspected roof coverings. There are one or more areas of raised shingles. This can cause damage to the shingles during high winds. Contact a qualified contractor to repair.

Recommendation

Contact a qualified roofing contractor



Deficiencies



3.1.3 Coverings

DEBRIS ON ROOF

Deficiencies

Inspected roof coverings. There is debris on areas of the roof. This can damage roof coverings and prevent proper water shedding, cause leaks, and also limits inspection. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.



3.1.4 Coverings

DISCOLORATION

Inspected roof. Roof shingles were discolored, which can be caused by moisture, rust or soot. This can lead to damage and leaks. Contact a qualified contractor to repair.

[Here is a helpful article](#) on common roof stains.

Recommendation

Contact a qualified roofing contractor



3.3.1 Flashings

VERIFY PROPER FLASHING WAS INSTALLED

Inspected roof flashing. It appears that the flashing installed in one or more areas is the incorrect flashing for that application. This can lead to leaks and damage to roofing structure. Contact a qualified contractor to repair.

Recommendation

Contact a qualified roofing contractor





Left



Left



Left

3.6.1 Roof Drainage Systems

DOWNSPOUTS DRAIN NEAR HOUSE

 Deficiencies

Gutter system was inspected. One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Contact a qualified contractor to repair.

Recommendation
Contact a qualified general contractor.



Right



Front



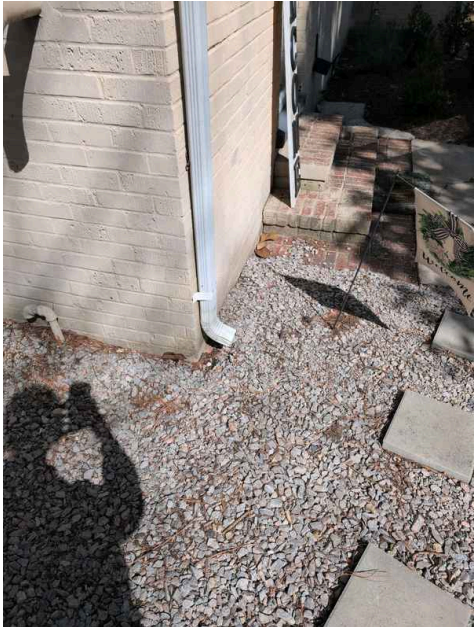
Front



Front



Back



Back

4: STRUCTURAL COMPONENTS

		IN	NI	NP	D
4.1	Foundation, Basement & Crawlspaces	X			X
4.2	Floor Structure	X			X
4.3	Wall Structure	X			
4.4	Ceiling Structure	X			
4.5	Attic Structure/Framing	X			X

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

Inspection Method Attic Access, Crawlspace Access	Foundation, Basement & Crawlspaces: Foundation Type Crawl Space	Foundation, Basement & Crawlspaces: Material Brick
Floor Structure: Basement/Crawlspace Floor Dirt	Floor Structure: Material Wood Joist	Floor Structure: Sub-floor Plank
Wall Structure: Material Not visible	Ceiling Structure: Material Not visible	Attic Structure/Framing: Material Rafters

Limitations

Foundation, Basement & Crawlspaces
RIGHT SIDE OF CRAWL SPACE INACCESSIBLE

Foundation, Basement & Crawlspaces
ACCESS LIMITED
All areas not visible.

Wall Structure
INSPECTION LIMITED
Not all areas visible, covered by drywall/insulation.

Ceiling Structure
INSPECTION LIMITED
Not all areas visible due to drywall/insulation.

Attic Structure/Framing

INSPECTION LIMITED DUE TO ACCESS

Access limited due to insulation, framing and duct work.

Defects

4.1.1 Foundation, Basement & Crawlspaces

INACCESSIBLE SECTION

Foundation was inspected. There are one or more sections (right side) of crawlspace and foundation that are inaccessible. Unseen damage may be present and get worse over time. Contact a qualified contractor to evaluate.

Recommendation

Contact a qualified general contractor.

4.2.1 Floor Structure

FUNGAL GROWTH

Floor structure was inspected. There are signs of fungal growth in one or more areas. Certain types of growth can damage floor structure materials. Contact a qualified contractor to repair.

Recommendation

Contact a qualified environmental contractor



Under 1st Floor Bathroom

4.2.2 Floor Structure

MOISTURE DAMAGED SUB FLOOR

Inspected floor structure. There is moisture damaged sub floor. This can cause deterioration and movement of flooring structure. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.



Under 1st Floor Bathroom



Under 1st Floor Bathroom

4.2.3 Floor Structure

DAMAGED WOOD JOIST

Major/Safety Defects

Inspected flooring structure. There is a damaged floor joist. A damaged floor joist weakens support of flooring structure in the affected area. Contact a licensed structural engineer to evaluate and direct repair.

Recommendation

Contact a qualified structural engineer.



At middle chimney



At middle chimney



At middle chimney



At middle chimney



Under 1st Floor Bathroom



Under 1st Floor Bathroom



Under 1st Floor Bathroom

4.5.1 Attic Structure/Framing

MOISTURE STAINS ON ROOF STRUCTURE

Deficiencies

Inspected attic structure. There appears to be signs of moisture intrusion on attic structure. This can decrease the integrity of the roof support if cause is not corrected. Contact a qualified contractor to repair.

Recommendation

Contact a qualified roofing contractor



5: GARAGE/CARPORT

		IN	NI	NP	D
5.1	Floor		X	X	
5.2	Garage Service Door		X	X	
5.3	Electricity Present		X	X	
5.4	Automatic Opener		X	X	
5.5	Fire Separation Walls and Ceilings		X	X	
5.6	Overhead Doors		X	X	

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

Type None	Floor: Type NA	Electricity Present: GFCI NA
Automatic Opener: Sensor Eyes Present NA	Overhead Doors: Material NA	

6: ELECTRICAL

		IN	NI	NP	D
6.1	Service Entry	X			X
6.2	Service and Grounding Equipment, Main Over current Device, Main and Distribution Panels	X			X
6.3	Branch Circuit Conductors, Over current Devices and Compatibility of Their Amperage & Voltage	X			
6.4	Connected Devices and Fixtures	X			X
6.5	Polarity and Grounding of Receptacles	X			X
6.6	GFCI & AFCI	X			X
6.7	Smoke Detectors	X			X
6.8	Carbon Monoxide Detectors	X			X

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

Wiring Method

Romex

Service Entry: Electrical Service Conductors

Overhead

Service Entry: Exterior Outlets

No

Service Entry: G.F.C.I Present

No

Service and Grounding Equipment, Main Over current Device, Main and Distribution Panels: Appears Grounded

Not visible

Service and Grounding Equipment, Main Over current Device, Main and Distribution Panels: Main Wire

Not visible

Service and Grounding Equipment, Main Over current Device, Main and Distribution Panels: Panel Capacity

150 AMP

Service and Grounding Equipment, Main Over current Device, Main and Distribution Panels: Panel Locations

Laundry Room

Service and Grounding Equipment, Main Over current Device, Main and Distribution Panels: Panel Manufacturer

Federal Pacific

Unknown

Service and Grounding Equipment, Main Over current Device, Main and Distribution Panels: Panel Type

Fuses

Smoke Detectors: Smoke Detector Tested

Yes

Carbon Monoxide Detectors: Carbon Monoxide Detector Tested

Not Present

Pictures of panel

Pictures for informational purposes only.



Limitations

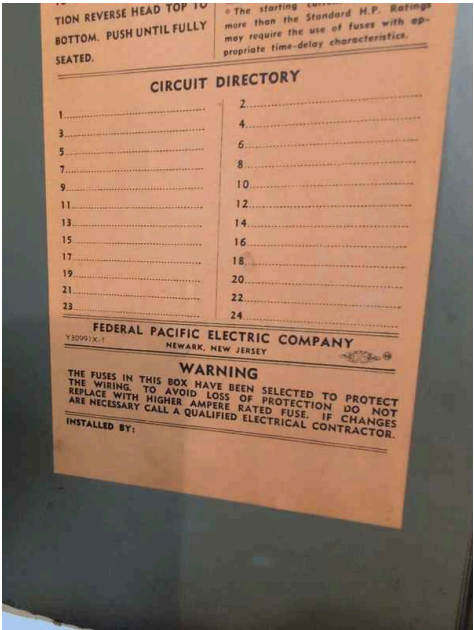
General

NOT ALL AREAS VISIBLE

Inspection limited due to homeowners items.

Service and Grounding Equipment, Main Over current Device, Main and Distribution Panels

DEAD FRONT COVER NOT REMOVED - FEDERAL PACIFIC PANEL



Branch Circuit Conductors, Over current Devices and Compatibility of Their Amperage & Voltage

NOT ALL AREAS VISIBLE

Not all areas of wires and electrical components visible due to coverings.

Defects

6.1.1 Service Entry

EXTERIOR RECEPTACLES NOT PRESENT

Inspected service entry. There are no exterior receptacles at the exterior of the home. This will limit exterior power at front and back of home. Contact a qualified contractor to repair.

Recommendation

Contact a qualified electrical contractor.



Deficiencies

6.2.1 Service and Grounding Equipment, Main Over current Device, Main and Distribution Panels

ELECTRICAL PANEL BREAKERS NOT LABELED

Inspected the electrical panel. There are fuses that are not labeled. This can cause a safety hazard to contractors working with fuses and wiring. Contact a qualified contractor to repair.

Recommendation

Contact a qualified electrical contractor.



Deficiencies



6.2.2 Service and Grounding Equipment, Main Over current Device, Main and Distribution Panels

FEDERAL PACIFIC PANEL

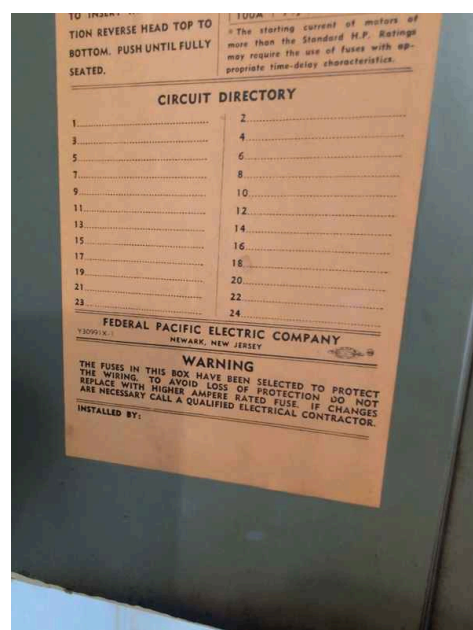
The main electrical panel is a Federal Pacific Electric service panel. There have been multiple reports of problems associated with these electrical panels which could affect the safety and habitability of the home. Determination of specific potential problems for the equipment installed at this home is beyond the scope of a home inspection. Further investigation by a licensed electrical contractor is recommended to determine if the panel should be replaced and the approximate cost of replacement. For more information visit: <http://inspectapedia.com/fpe/fpepanel.htm>

Recommendation

Contact a qualified electrical contractor.



Deficiencies



6.4.1 Connected Devices and Fixtures

COVER PLATES MISSING/LOOSE

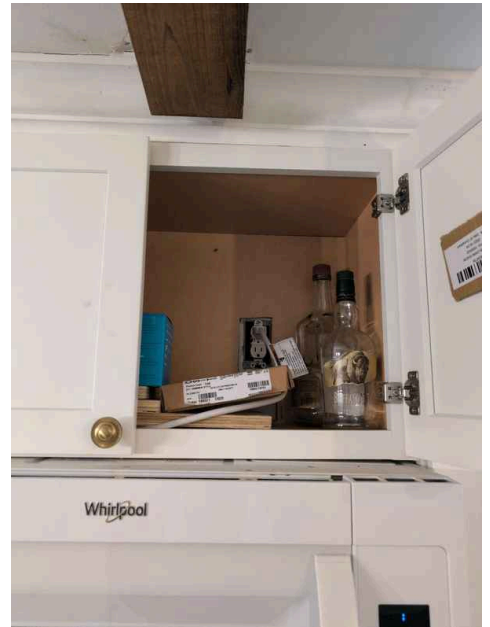


Deficiencies

Inspected receptacles and switches. There are one or more cover plates that are missing/loose. Exposed electrical conductors can cause a shock risk. This can also allow debris into the receptacles preventing proper operation. Contact a qualified contractor to repair.

Recommendation

Contact a qualified electrical contractor.



Kitchen above microwave

6.4.2 Connected Devices and Fixtures



Deficiencies

LIGHT NOT ON SWITCH

Electrical was inspected. A light is not attached to switch. This can make it difficult to operate light. Contact a qualified contractor to repair.

Recommendation

Contact a qualified electrical contractor.



2nd Floor Left Bedroom Closet

6.5.1 Polarity and Grounding of Receptacles



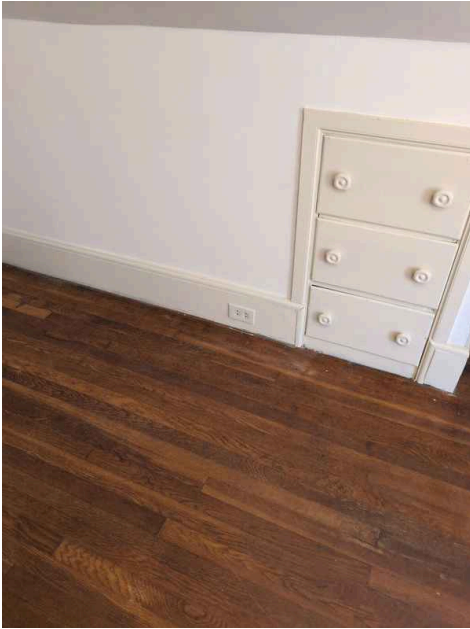
Major/Safety Defects

RECEPTACLE(S) NOT GROUNDED

Inspected receptacles. One or more receptacles are not grounded - all two prong receptacles. Non grounded receptacles can cause a shock hazard. Contact a qualified contractor to repair.

Recommendation

Contact a qualified electrical contractor.



6.6.1 GFCI & AFCI

GFCI PROTECTION NOT PRESENT

Inspected GFCI protection. GFCI protection is not present in some locations. No GFCI protection can cause shock hazard. Contact a qualified contractor to repair.

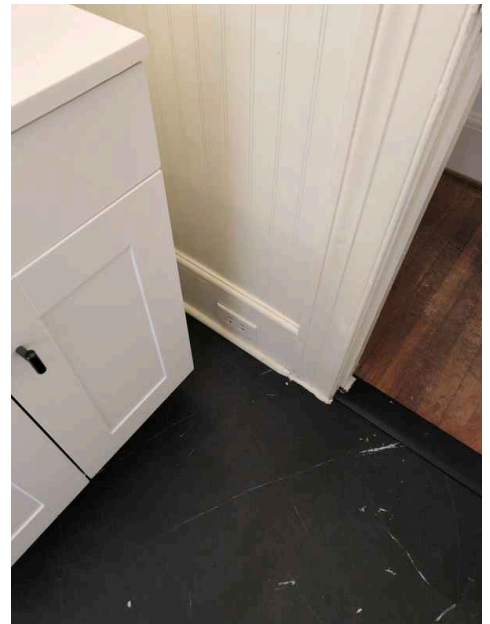
[Here is a link](#) to read about how GFCI receptacles keep you safe.

Recommendation

Contact a qualified electrical contractor.



Major/Safety Defects



2nd Floor Bathroom

6.7.1 Smoke Detectors

LACK OF APPROPRIATE NUMBER OF SMOKE DETECTORS

Smoke detectors were inspected. There is a lack of detectors in sleeping areas. This can increase the amount of time to get out of home in case of a fire. Contact a qualified contractor to repair.

Recommendation

Contact a qualified electrical contractor.



Major/Safety Defects

6.8.1 Carbon Monoxide Detectors

CARBON MONOXIDE DETECTORS NOT PRESENT

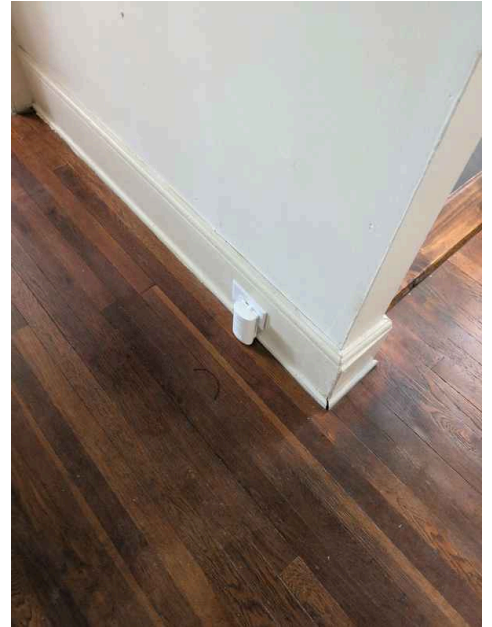


Major/Safety Defects

Carbon monoxide detectors were inspected. There are missing permanently installed carbon monoxide detectors in home at time of inspection. Missing detectors can limit the response time to exit home in case of an emergency. Contact a qualified contractor to repair.

Recommendation

Contact a qualified electrical contractor.



1st Floor Hallway

7: AIR CONDITIONING

		IN	NI	NP	D
7.1	Cooling Equipment	X			X
7.2	Distribution System	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

Report Method

Visual only

Cooling Equipment: Brand

Trane

Cooling Equipment: Energy Source/Type

Electric

Cooling Equipment: Refrigerant Type

R-410A

Pictures of Cooling system

Pictures for informational purposes only.



Limitations

General

COOLING SYSTEM INTERNALS NOT INSPECTED

Inspection limited.

General

NOT ALL AREAS VISIBLE

HVAC material inspection limited due to coverings.

Distribution System

INACCESSIBLE

Inspection limited due to not all areas of ducts are accessible.

Defects

7.1.1 Cooling Equipment

Maintenance Item

SERVICE/CLEANING NEEDED

Inspected HVAC. HVAC systems should be cleaned and serviced annually. This can prevent failure. Contact a qualified contractor to repair.

Recommendation

Contact a qualified hvac contractor

8: HEATING

		IN	NI	NP	D
8.1	Heating Equipment	X			X
8.2	Distribution System	X			X
8.3	Flue & Vents	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

Method of inspection
Visual only

Heating Equipment: Brand
Trane

Heating Equipment: Energy Source
Natural Gas

Heating Equipment: Heat Type
Gas-Fired Heat

Furnace Picture

Pictures for informational purposes only.



Limitations

General
FURNACE INTERNALS NOT INSPECTED
Inspection limited.

General
NOT ALL AREAS VISIBLE

Inspection limited.

Distribution System

INACCESSIBLE

Inspection limited due to not all areas of ducts are accessible.

Defects

8.1.1 Heating Equipment

SERVICING/CLEANING NEEDED



Inspected HVAC. HVAC systems should be cleaned and serviced annually. This can prevent unit failure. Contact a qualified contractor to repair.

[Here is a resource](#) on the importance of furnace maintenance.

Recommendation

Contact a qualified hvac contractor

8.2.1 Distribution System

DUCT WORK IN UTILITY ROOM



Inspected HVAC distribution duct work. There is duct work in the utility room that is not in the wall or ceiling structure. There is also an open hole present. This can allow wildlife and fumes into attic. Contact a qualified contractor to repair.

Recommendation

Contact a qualified hvac contractor



9: PLUMBING

		IN	NI	NP	D
9.1	Fixtures / Faucets	X			X
9.2	Drain, Waste, & Vent Systems	X			X
9.3	Water Heater	X			X
9.4	Sump Pumps / Sewage Ejectors	X		X	
9.5	Fuel Storage & Distribution Systems	X			
9.6	Water Distribution System	X			X

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

Filters

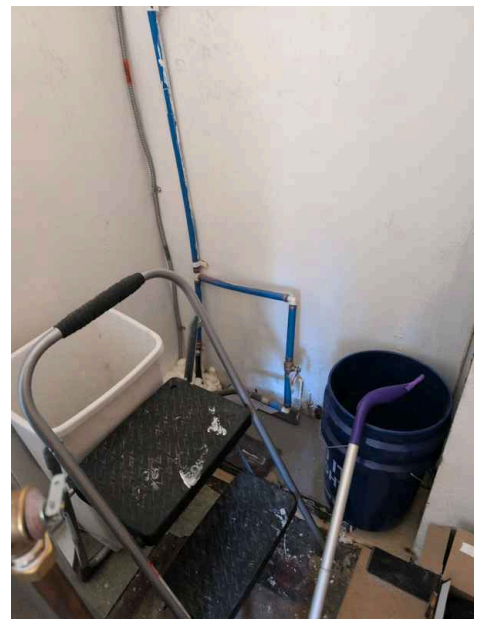
None

Main Fuel Shut-Off (Location)

Exterior

Main Water Shut-Off Device (Location)

Laundry Room



Material - Distribution

CSST, Hard Iron Pipe

Material - Water Supply

Pex, Galvanized

Drain, Waste, & Vent Systems:

Drain Size

2"

Drain, Waste, & Vent Systems:

Material

PVC, Iron

Source

Public

Water Heater: Location

Laundry Room

Water Heater: Manufacturer

AO Smith

Water Heater: Capacity

40 Gallons

Water Heater: Venting System

Electric

Water Heater: Power Source

Electric

Water Heater: Pictures of water heater

Pictures for informational purposes only.



Limitations

General

NOT ALL FUEL AND WATER LINES VISIBLE

Fuel and water line material inspection limited due to coverings.

Drain, Waste, & Vent Systems

NOT ALL AREAS OF DRAINAGE VISIBLE

Drainage material inspection limited due to coverings.

Fuel Storage & Distribution Systems

NOT ALL AREAS OF FUEL PIPING VISIBLE

Inspection limited

Water Distribution System

NOT ALL AREAS OF SUPPLY LINES VISIBLE

Inspection limited

Defects

9.1.1 Fixtures / Faucets

CAULKING NEEDED

Deficiencies

Inspected bathrooms. There are one or more areas where there are gaps between materials. This can allow moisture behind the wall and to subfloor below causing damage. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.



1st Floor Bathroom



1st Floor Bathroom

9.1.2 Fixtures / Faucets



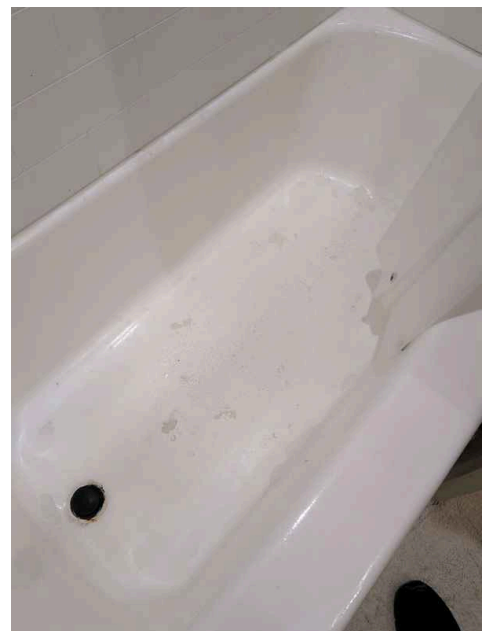
Deficiencies

DAMAGED SHOWER/TUB MATERIAL

Inspected tubs and showers. There are one or more cracks in the shower/tub material. Cracks can allow water behind and/or below the shower/tub and damage the floor structure. Contact a qualified contractor to repair.

Recommendation

Contact a qualified plumbing contractor.



1st Floor Bathroom

9.1.3 Fixtures / Faucets



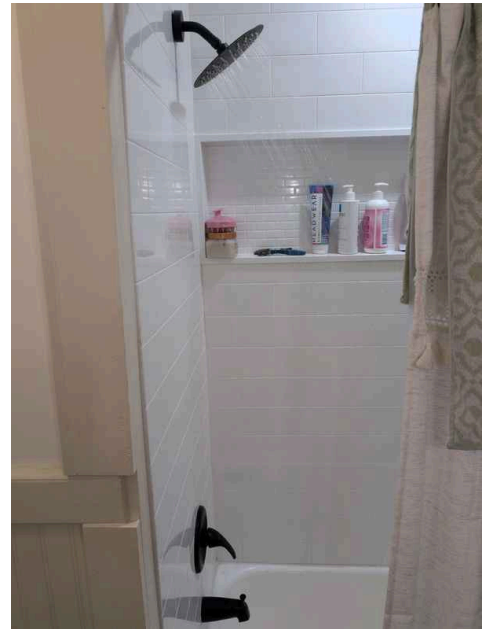
Deficiencies

SHOWER PULL NOT FUNCTIONING PROPERLY

Inspected plumbing fixtures. One or more shower pulls do not open fully, which allows water to flow through the spigot during shower operation. This can prevent proper flow of water to shower head. Contact a qualified contractor to repair.

Recommendation

Contact a qualified plumbing contractor.



1st Floor Bathroom

9.1.4 Fixtures / Faucets

EXPOSED WOOD

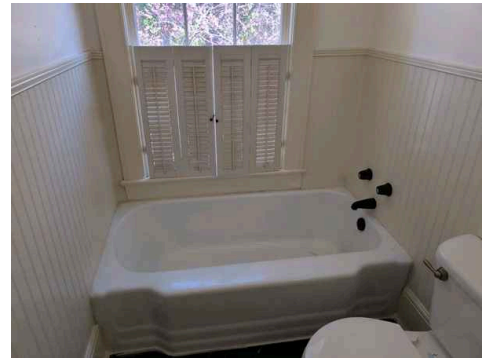
Showers and tubs were inspected. There is exposed wood in a shower/tub area. High moisture can cause wood deterioration and/or organic growth. Contact a qualified contractor to repair.

Recommendation

Contact a qualified plumbing contractor.



Deficiencies



2nd Floor Bathroom

9.2.1 Drain, Waste, & Vent Systems

EVALUATE WASTE AND DRAIN SYSTEM - MULTIPLE MATERIALS USED

Plumbing system was inspected. There are multiple materials used for the waste and drain system. Connections at dissimilar materials and aged metal materials can cause potential leak issues. Contact a qualified contractor to evaluate and repair.

Recommendation

Contact a qualified plumbing contractor.



Deficiencies

9.3.1 Water Heater

NO EXPANSION TANK INSTALLED

Water heater was inspected. An expansion tank was not installed at time of inspection. Not having an expansion tank can cause the unit to build up pressure and leak. Contact a qualified contractor to repair.

Recommendation

Contact a qualified plumbing contractor.



Deficiencies

9.6.1 Water Distribution System

EVALUATE SUPPLY LINES - MULTIPLE LINE MATERIALS USED

Deficiencies

Plumbing was inspected. There are multiple types of water supply line materials used. This can create leak issues if connections are not secure. Contact a qualified contractor to repair.

Recommendation

Contact a qualified plumbing contractor.

9.6.2 Water Distribution System

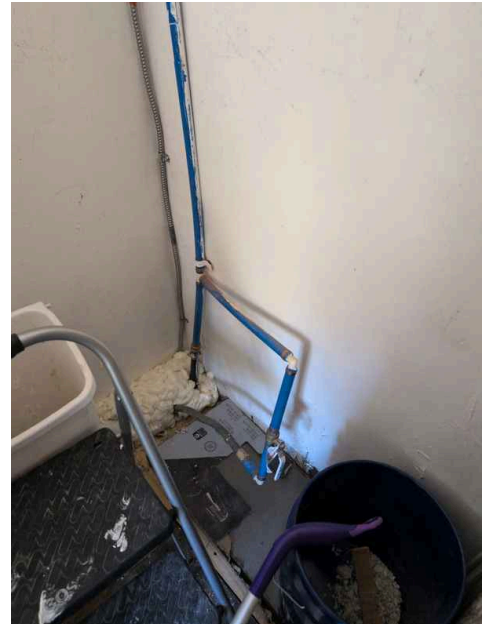
UNPROTECTED SHUT OFF

Deficiencies

Plumbing system was inspected. The water shut off is not properly protected. This can allow something to hit it and possibly damage lines. Major leaks can occur. Contact a qualified contractor to repair.

Recommendation

Contact a qualified plumbing contractor.



9.6.3 Water Distribution System

POSSIBLE HAZARDOUS PIPE INSULATION MATERIAL

Major/Safety Defects

Plumbing was inspected. There is white ridged insulation present on piping. The pipe insulation appears to be asbestos. This insulating material is a known health hazard if disturbed. Contact a qualified contractor to repair.

Recommendation

Contact a qualified environmental contractor



10: INTERIORS

		IN	NI	NP	D
10.1	Walls	X			X
10.2	Ceilings	X			X
10.3	Floors	X			X
10.4	Steps, Stairways & Railings	X			X
10.5	Countertops & Cabinets	X			X
10.6	Doors	X			X
10.7	Windows	X			X

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

Walls: Wall Material Plaster, Paneling	Ceilings: Ceiling Material Plaster	Floors: Floor Coverings Hardwood, Laminate Tile, Tile, Carpet
Countertops & Cabinets: Cabinetry Wood	Windows: Material Wood	Windows: Window Type Single-hung

Limitations

General
LIMITED DUE TO HOMEOWNERS ITEMS
Inspection limited due to homeowner items.

General
REFRIGERATOR PRESENT
Inspection of floor/wall is limited due to refrigerator.

General
WASHER AND DRYER PRESENT
Interior inspection limited.

Countertops & Cabinets
PERSONAL ITEMS IN CABINETS
Inspection of cabinets. Home owner's personal items were obstructing view of whole cabinet area.

Defects

10.1.1 Walls

WALL CRACKING

Inspected interior walls. There are one or more areas of cracks in the wall. This can get worse over time allowing for issues with support. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.

 Deficiencies



2nd Floor Right Bedroom Closet



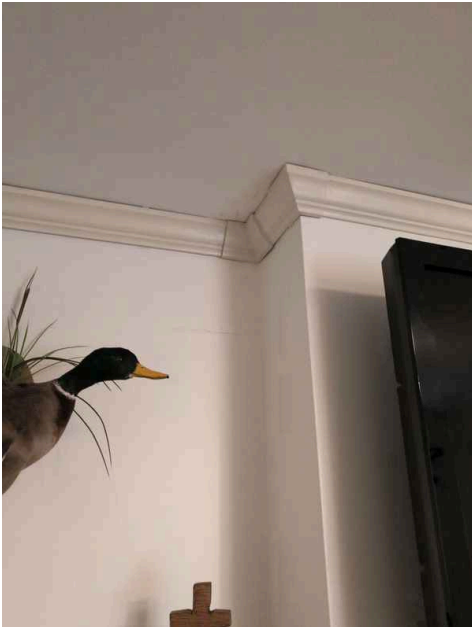
2nd Floor Right Bedroom Closet



2nd Floor Right Bedroom



1st Floor Hallway



Living Room



Living Room

10.1.2 Walls

WALL DAMAGE

Interior walls were inspected. There are one or more areas of damaged wall material. This can cause support issues and/or allow debris in to wall cavity. Contact a qualified contractor to repair.

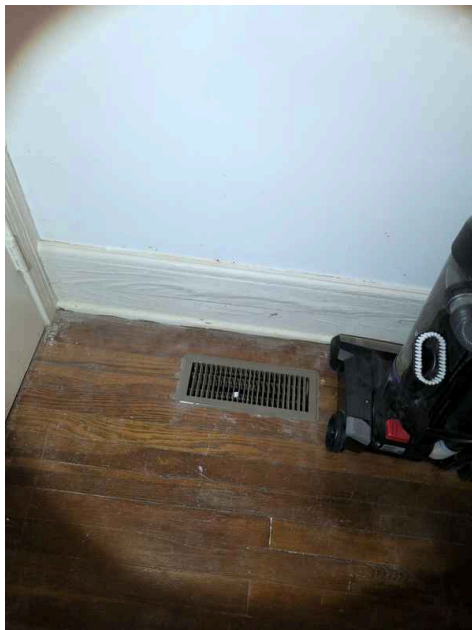
 Deficiencies

Recommendation

Contact a qualified general contractor.



Laundry



1st Floor Back Bedroom

10.1.3 Walls

LOOSE/MISSING TRIM

Inspected interior walls/trim. There is loose/missing trim. This can allow debris to get behind wall/flooring. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.



Deficiencies



Bonus Room

10.1.4 Walls

FUNGAL GROWTH

Interior walls were inspected. There are signs of organic growth in one or more areas in the wall. Certain types of growth can cause health concerns. Contact a qualified contractor to repair.

Recommendation

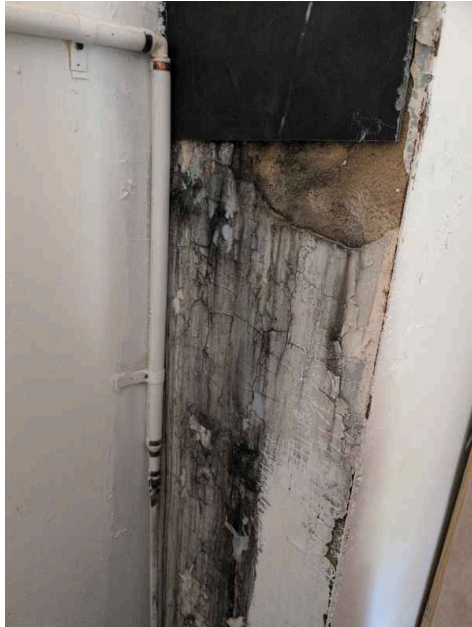
Contact a qualified environmental contractor



Deficiencies



2nd Floor Right Bedroom Closet



Laundry, behind water heater

10.2.1 Ceilings

CRACKING

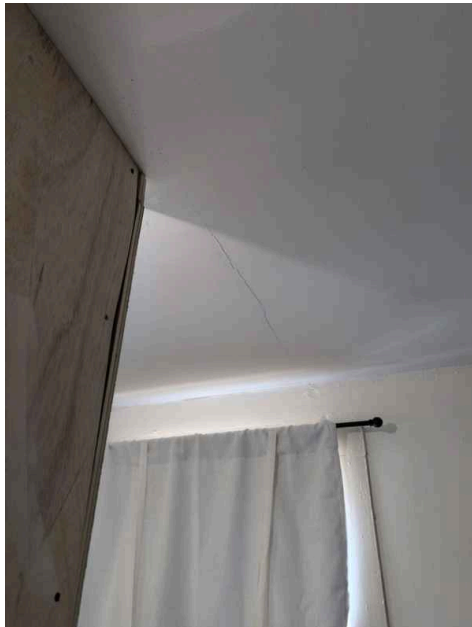
Ceiling was inspected. There are one or more areas of cracking. This can get worse over time. Contact a qualified contractor to repair.

Recommendation

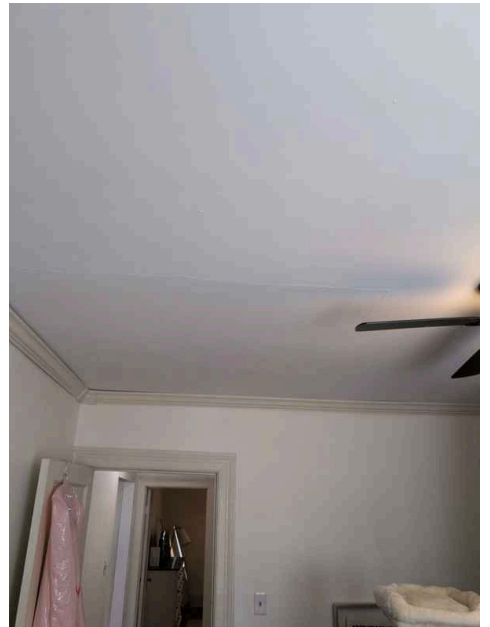
Contact a qualified general contractor.



Laundry



Laundry



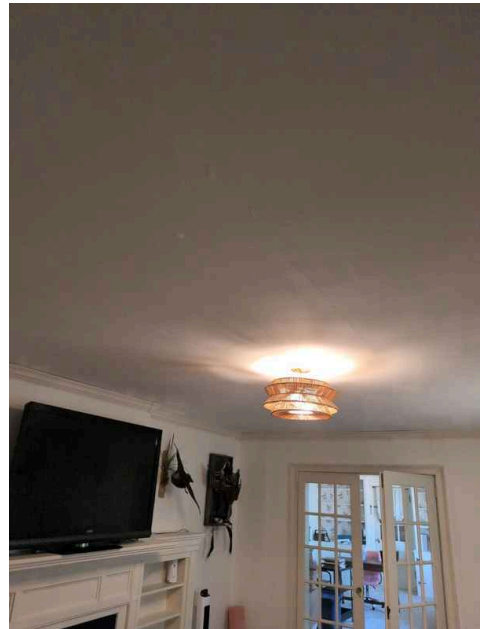
1st Floor Back Bedroom



1st Floor Front Bedroom



1st Floor Front Bedroom Closet



Living Room

10.2.2 Ceilings

SIGN OF PREVIOUS REPAIRS

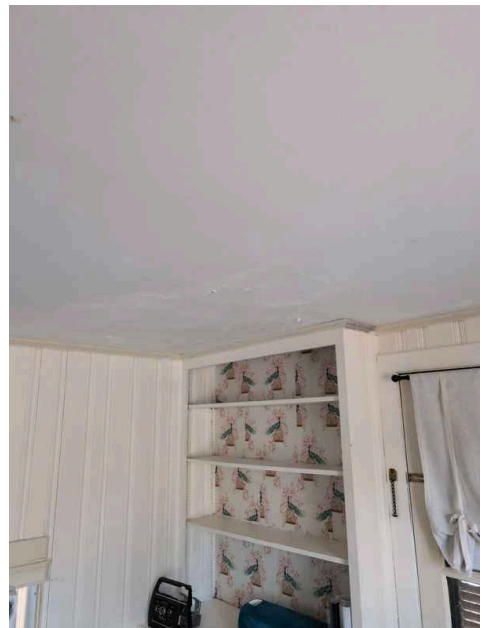
Inspected ceilings. There are one or more areas that show signs of previous repair. Area can become damaged if repairs were not done properly. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.



Deficiencies



Bonus Room

10.2.3 Ceilings

CEILING HEIGHT LOW

Inspected ceilings. The ceiling height is low in areas. This can be a safety hazard. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.



Deficiencies



2nd Floor Hallway

10.3.1 Floors



Deficiencies

DAMAGED FLOORING MATERIAL

Inspected floor coverings. There are one or more areas of damaged flooring material. This can be a trip concern and/or allow debris to get to subfloor. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.



1st Floor Bathroom

10.3.2 Floors



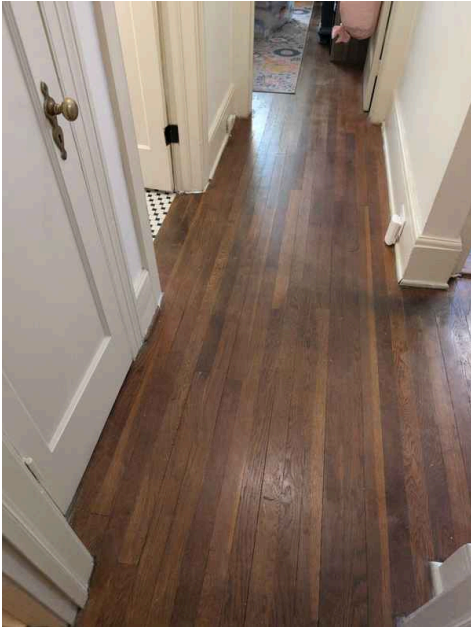
Deficiencies

SLOPED FLOORING

Flooring was inspected. There are one or more sections of flooring that have a slope. This can get worse over time and/or cause damage to flooring material and/or structure. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.



1st Floor Hallway

10.3.3 Floors

FLOOR DEFLECTION (SPONGY FEEL)

Deficiencies

Inspected floor coverings. There are one or more areas of floor deflection (spongy feel). This can get worse over time causing floor squeaks and/or damage to surface material. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.



Kitchen



Kitchen

10.4.1 Steps, Stairways & Railings

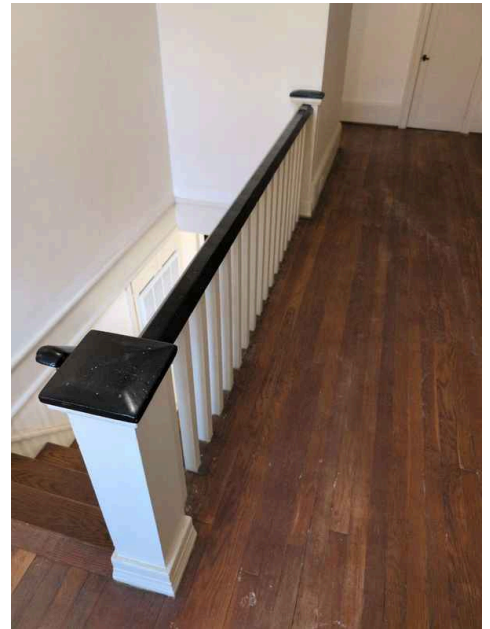
HANDRAIL INSUFFICIENT HEIGHT

Deficiencies

Inspected stairs. A handrail/guardrail appears to be at an insufficient height from the stairs. This can cause a fall hazard. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.



2nd Floor

10.5.1 Countertops & Cabinets

MISSING/POOR CAULKING

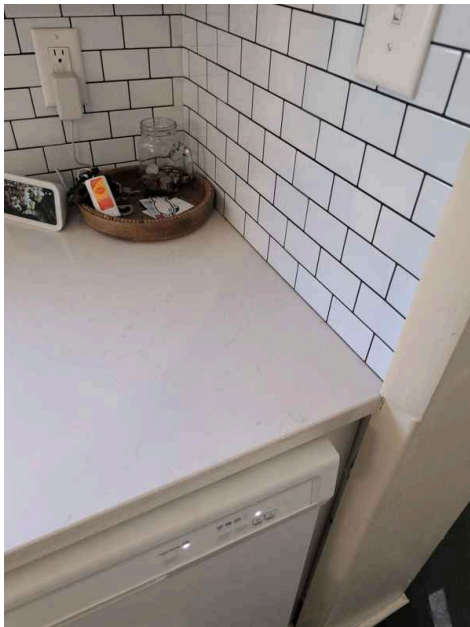


Deficiencies

Cabinets and countertops were inspected. There is missing/deteriorated caulk around cabinets/countertops. This can allow water to get behind cabinet/countertop and damage wall and/or flooring. Contact a qualified contractor to repair.

Recommendation

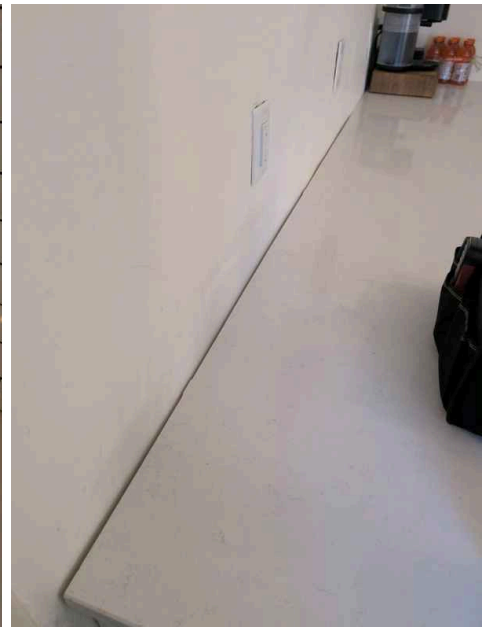
Contact a qualified general contractor.



Kitchen



Kitchen



Kitchen

10.6.1 Doors

DOOR DOESN'T LATCH



Deficiencies

Inspected interior doors. There are one or more doors that do not latch properly. This will prevent proper operation of the door. Contact a qualified contractor to repair.

Recommendation

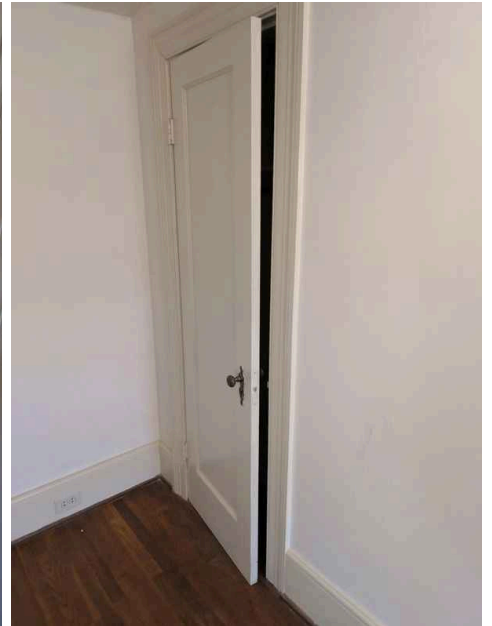
Contact a qualified general contractor.



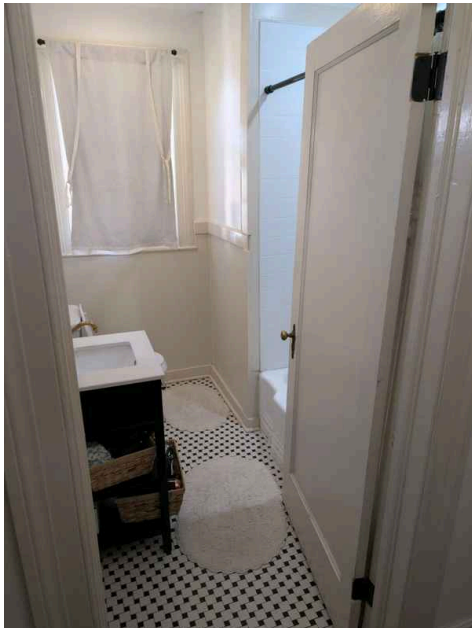
2nd Floor Left Bedroom Closet



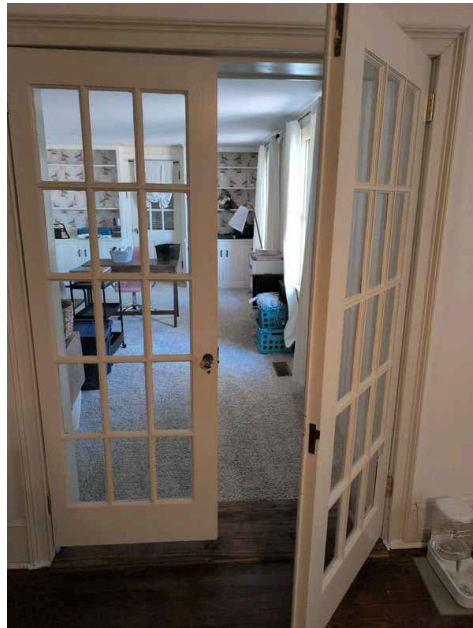
2nd Floor Right Bedroom



2nd Floor Right Bedroom Closet



1st Floor Bathroom



Living Room

10.6.2 Doors

DOOR RUBS FRAME

Interior doors were inspected. There are doors that rub the frame. This can make it difficult to open/close door properly. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.

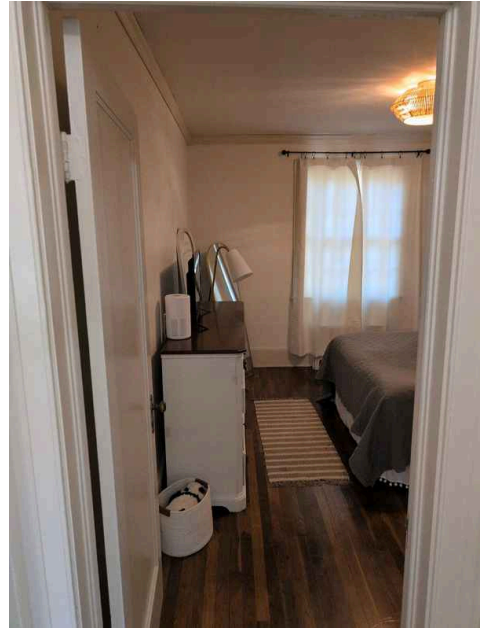




2nd Floor Left Bedroom



1st Floor Back Bedroom Closet



1st Floor Front Bedroom



1st Floor Front Bedroom Closet

10.7.1 Windows

HAZE

Inspected windows. There is indication of haze on the glass of one or more windows. This can lead to deterioration. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.





2nd Floor Left Bedroom



2nd Floor Hallway

10.7.2 Windows

WINDOW MAINTENANCE NEEDED / GENERAL WEAR

 Deficiencies

Inspected windows. The windows are in general need of maintenance. There are windows that are painted shut, hardware that does not function properly and windows that are difficult to open and close. This can prevent ventilation and egress if needed. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.

10.7.3 Windows

MISSING LOCKS ON WINDOWS

 Deficiencies

Inspected windows. There are one or more windows that are missing locking mechanisms (example locations included in this report). Missing locking mechanisms are a safety hazard. Contact a qualified contractor to repair.

Recommendation

Contact a qualified general contractor.



2nd Floor Left Bedroom



2nd Floor Bathroom



2nd Floor Right Bedroom

11: BUILT-IN APPLIANCES

		IN	NI	NP	D
11.1	Dishwasher	X			
11.2	Range/Oven/Cooktop	X			X
11.3	Garbage Disposal		X	X	
11.4	Microwave	X			X

IN = InspectedNI = Not InspectedNP = Not PresentD = Deficiencies

Information

Dishwasher: Brand Whirlpool	Range/Oven/Cooktop: Exhaust Hood Type Re-circulate	Range/Oven/Cooktop: Range/Oven Brand Whirlpool
Range/Oven/Cooktop: Range/Oven Energy Source Electric	Garbage Disposal: Brand Not Present	Microwave: Brand Whirlpool

Defects

11.2.1 Range/Oven/Cooktop

ANTI-TIP DEVICE MISSING

Inspected range. Anti-tip device is missing. This can cause a safety concern if range is tipped forward. Contact a qualified contractor to repair.

Recommendation
Contact a qualified general contractor.

Deficiencies

11.4.1 Microwave

MICROWAVE ON KITCHEN GFCI CIRCUIT

Inspected microwave. The unit is on the same circuit as the kitchen counter GFCIs. This can stop power to microwave if receptacles are tripped. Contact a qualified contractor to repair.

Recommendation
Contact a qualified electrical contractor.

Deficiencies

12: INSULATION AND VENTILATION

		IN	NI	NP	D
12.1	Exhaust Systems	X			X
12.2	Vapor Retarders	X		X	X
12.3	Flooring Insulation	X			X
12.4	Attic Insulation	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

Exhaust Systems: Exhaust Fans Fan with Light	Flooring Insulation: Installed In Not Present	Flooring Insulation: Insulation Type Not Present
Attic Insulation: Installed In Between ceiling joists, Walls	Attic Insulation: Insulation Type Blown, Batt	

Limitations

Attic Insulation
NOT ALL AREAS VISIBLE
Insulation covered by decking material and duct work.

Defects

12.1.1 Exhaust Systems

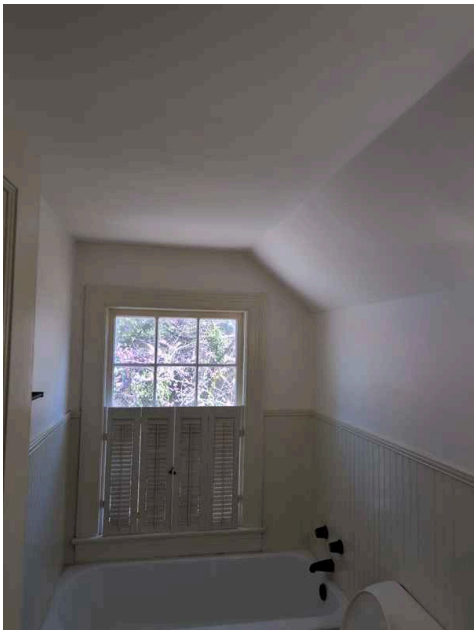
Deficiencies

BATHROOM EXHAUST FANS NOT PRESENT

Inspected exhaust systems. There are one or more bathrooms without an exhaust fan. The lack of exhaust fans can create moisture buildup and allow organic growth. Contact a qualified contractor to repair.

Recommendation

Contact a qualified hvac contractor



2nd Floor Bathroom

12.2.1 Vapor Retarders

MISSING VAPOR BARRIER

Major/Safety Defects

Inspected vapor barrier. There is no vapor barrier in the crawlspace. This can allow moisture to buildup and damage flooring structure. Contact a qualified contractor to repair.

Recommendation

Contact a qualified insulation contractor.



12.3.1 Flooring Insulation

NO INSULATION BETWEEN FLOOR JOISTS

Major/Safety Defects

Inspected flooring insulation. Insulation was not installed between the floor joists in crawl space at the time of inspection. Missing insulation can increase energy consumption and allow moisture from crawlspace to enter into the living space. Contact a qualified contractor to repair.

Recommendation

Contact a qualified insulation contractor.

13: FIREPLACES AND FUEL-BURNING APPLIANCES

		IN	NI	NP	D
13.1	Fireplaces, Stoves & Inserts	X			X
13.2	Fuel-buring Accessories	X			
13.3	Vents, Flues, & Chimneys	X			X

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

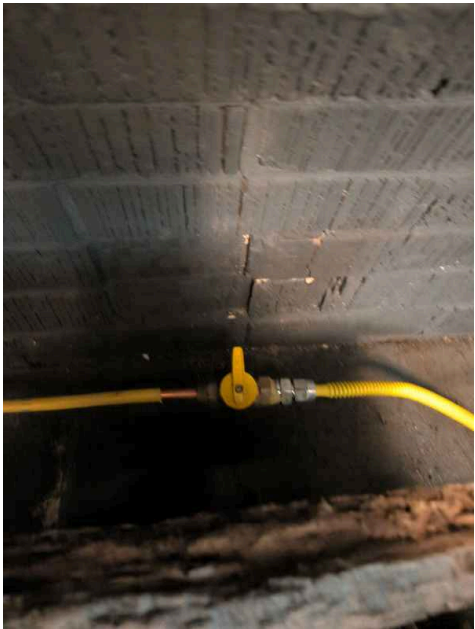
Information

Type	Fireplaces, Stoves & Inserts: Type	Vents, Flues, & Chimneys: Type
Natural Gas	Vented	Vented

Limitations

General
INTERNALS NOT VISIBLE
Inspection limited

Fireplaces, Stoves & Inserts
GAS NOT TURNED ON
Gas valve is in the off position at the time of inspection.



Defects

13.1.1 Fireplaces, Stoves & Inserts

FIREPLACE PRESENT

Maintenance Item

Fireplace was inspected. Home has a fireplace and not all areas are visible. An incorrectly installed and/or poor functioning fireplace can become a safety concern. Contact a qualified contractor to evaluate and repair.

Recommendation

Contact a qualified chimney / fireplace contractor

13.1.2 Fireplaces, Stoves & Inserts

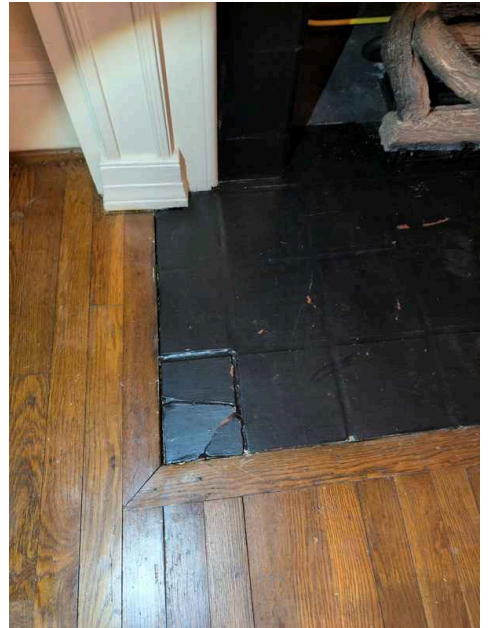
CRACKED HEARTH EXTENSION

Deficiencies

Inspected fireplace. The hearth extension is cracked. A cracked hearth can break free and allow damage to surrounding material. Contact a qualified contractor to repair.

Recommendation

Contact a qualified chimney / fireplace contractor



13.1.3 Fireplaces, Stoves & Inserts

FIREPLACE SURROUND/FIREBOX PAINTED

Deficiencies

Inspected fireplace. The surround and firebox are painted. Incorrect paint material can deteriorate from heat. Contact qualified fireplace contractor to evaluate and repair if needed.

Recommendation

Contact a qualified chimney / fireplace contractor

13.1.4 Fireplaces, Stoves & Inserts

GAS INSERT NOT FULLY BELOW DAMPER

Deficiencies

Inspected fireplace. The gas insert is not fully inside the fireplace box. This can reduce the exhaust of fumes. Contact a qualified contractor to repair.

Recommendation

Contact a qualified chimney / fireplace contractor



13.3.1 Vents, Flues, & Chimneys

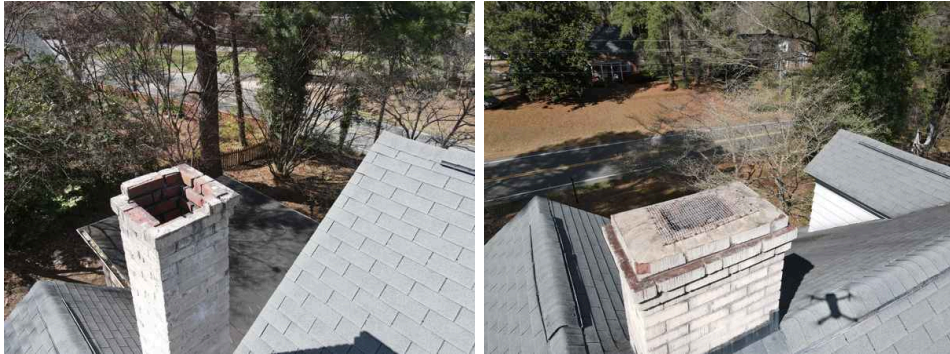
SPARK ARRESTOR NOT PRESENT

Deficiencies

Inspected chimney. A spark arrestor/weather cap is not present. This can allow hot materials onto roof structure and moisture into the chimney flue. Contact a qualified contractor to repair.

Recommendation

Contact a qualified chimney / fireplace contractor



13.3.2 Vents, Flues, & Chimneys

DAMPER NOT PRESENT

Deficiencies

Inspected fireplace. A damper is not present. This can allow debris/moisture into firebox when not in use, and prevent proper ventilation. Contact a qualified contractor to repair.

Recommendation

Contact a qualified chimney / fireplace contractor



13.3.3 Vents, Flues, & Chimneys

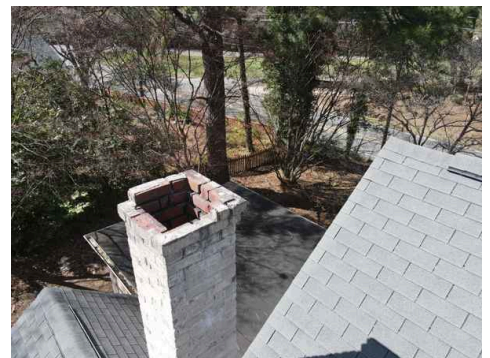
DAMAGED/DETACHED BRICK ON CHIMNEY STRUCTURE

Deficiencies

Inspected chimney structure. There are damaged/detached bricks at the chimney. Damaged/detached bricks can allow moisture into the structure and deteriorate mortar and brick. Contact a qualified contractor to repair.

Recommendation

Contact a qualified chimney / fireplace contractor



STANDARDS OF PRACTICE

Inspection Details

Exterior

2.1 The inspector shall: A. inspect: 1. wall coverings, flashing, and trim. 2. exterior doors. 3. attached and adjacent decks, balconies, stoops, steps, porches, and their associated railings. 4. eaves, soffits, and fascias where accessible from the ground level. 5. vegetation, grading, surface drainage, and retaining walls that are likely to adversely affect the building. 6. adjacent and entryway walkways, patios, and drive-ways. B. describe wall coverings. 2.2 The inspector is NOT required to inspect: A. screening, shutters, awnings, and similar seasonal accessories. B. fences, boundary walls, and similar structures. C. geological and soil conditions. D. recreational facilities. E. outbuildings other than garages and carports. F. seawalls, break-walls, and docks. G. erosion control and earth stabilization measures.

Roofing

3.1 The inspector shall: A. inspect: 1. roofing materials. 2. roof drainage systems. 3. flashing. 4. skylights, chimneys, and roof penetrations. B. describe: 1. roofing materials. 2. methods used to inspect the roofing. 3.2 The inspector is NOT required to inspect: A. antennas. B. interiors of vent systems, flues, and chimneys that are not readily accessible. C. other installed accessories.

Structural Components

4.1 The inspector shall: A) inspect structural components including the foundation and framing. B) describe: 1. the methods used to inspect under floor crawlspaces and attics. 2. the foundation. 3. the floor structure. 4. the wall structure. 5. the ceiling structure. 6. the roof structure. 4.2 The inspector is NOT required to: A) provide engineering or architectural services or analysis. B) offer an opinion about the adequacy of structural systems and components. C) enter under floor crawlspace areas that have less than 24 inches of vertical clearance between components and the ground or that have an access opening smaller than 16 inches by 24 inches. D) traverse attic load-bearing components that are concealed by insulation or by other materials.

Garage/Carport

5.1 The home inspector shall A. inspect: 1. garage door operator, 2. overhead doors, 3. presence of electricity/GFCI, 4. fire separation walls and ceilings, 5. service doors. B. operate: 1. entryway/service doors, 2. operate garage doors manually or by using permanently installed controls for any garage door operator, 3. report whether any garage door operator will automatically reverse or stop. 5.2 The home inspector is NOT REQUIRED to A. inspect: 1. the presence of safety glazing in doors and windows, 2. garage door operator remote control transmitters.

Electrical

6.1 The inspector shall: A) inspect: 1. service drop. 2. service entrance conductors, cables, and raceways. 3. service equipment and main disconnects. 4. service grounding. 5. interior components of service panels and sub-panels. 6. conductors. 7. over current protection devices. 8. a representative number of installed lighting fixtures, switches, and receptacles. 9. ground fault circuit interrupters and arc fault circuit interrupters. B) describe: 1. amperage rating of the service. 2. location of main disconnect(s) and sub-panels. 3. presence or absence of smoke alarms and carbon monoxide alarms. 4. the predominant branch circuit wiring method. 6.2 The inspector is NOT required to: A) inspect: 1. remote control devices. 2. or test smoke and carbon monoxide alarms, security systems, and other signaling and warning devices. 3. low voltage wiring systems and components. 4. ancillary wiring systems and components not a part of the primary electrical power distribution system. 5. solar, geothermal, wind, and other renewable energy systems. B) measure amperage, voltage, and impedance. C) determine the age and type of smoke alarms and carbon monoxide alarms.

Air Conditioning

7.1 The inspector shall: A) open readily openable access panels. B) inspect: 1. central and permanently installed cooling equipment. 2. distribution systems. C) describe: 1. energy source(s). 2. cooling systems. 7.2 The inspector is NOT required to: A) inspect electric air cleaning and sanitizing devices. B) determine cooling supply adequacy and distribution balance. C) inspect cooling units that are not permanently installed or that are installed in windows. D) inspect cooling systems using ground-source, water-source, solar, and renewable energy technologies.

Heating

8.1 The inspector shall: A) open readily openable access panels. B) inspect: 1. installed heating equipment. 2. vent systems, flues, and chimneys. 3. distribution systems. C) describe: 1. energy source(s). 2. heating systems. 8.2 The inspector is NOT required to: A) inspect: 1. interiors of vent systems, flues, and chimneys that are not readily accessible. 2. heat exchanger. 3. humidifiers and dehumidifiers. 4. electric air cleaning and sanitizing devices. 5. heating systems using ground-source, water-source, solar, and renewable energy technologies. 6. heat-recovery and similar whole-house mechanical ventilation systems. B) determine: 1. heat supply adequacy and distribution balance. 2. the adequacy of combustion air components.

Plumbing

9.1 The inspector shall: A) inspect: 1. interior water supply and distribution systems including fixtures and faucets. 2. interior drain, waste, and vent systems including fixtures. 3. water heating equipment and hot water supply systems. 4. vent systems, flues, and chimneys. 5. fuel storage and fuel distribution systems. 6. sewage ejectors, sump pumps, and related piping. B) describe: 1. interior water supply, drain, waste, and vent piping materials. 2. water heating equipment including energy source(s). 3. location of main water and fuel shut-off valves. 9.2 The inspector is NOT required to: A) inspect: 1. clothes washing machine connections. 2. interiors of vent systems, flues, and chimneys that are not readily accessible. 3. wells, well pumps, and water storage related equipment. 4. water conditioning systems. 5. solar, geothermal, and other renewable energy water heating systems. 6. manual and automatic re extinguishing and sprinkler systems and landscape irrigation systems. 7. septic and other sewage disposal systems. B) determine: 1. whether water supply and sewage disposal are public or private. 2. water quality. 3. the adequacy of combustion air components. C) measure water supply flow and pressure, and well water quantity. D) fill shower pans and fixtures to test for leaks.

Interiors

10.1 The inspector shall inspect: A) walls, ceilings, and floors. B) steps, stairways, and railings. C) counter tops and a representative number of installed cabinets. D) a representative number of doors and windows. E) garage vehicle doors and garage vehicle door operators. F) installed ovens, ranges, surface cooking appliances, microwave ovens, dish washing machines, and food waste grinders by using normal operating controls to activate the primary function. 10.2 The inspector is NOT required to inspect: A) paint, wallpaper, and other finish treatments. B) floor coverings. C) window treatments. D) coatings on and the hermetic seals between panes of window glass. E) central vacuum systems. F) recreational facilities. G) installed and free-standing kitchen and laundry appliances not listed in Section 10.1.F) H) appliance thermostats including their calibration, adequacy of heating elements, self cleaning oven cycles, indicator lights, door seals, timers, clocks, timed features, and other specialized features of the appliance. I) operate, or confirm the operation of every control and feature of an inspected appliance.

Built-in Appliances

11.1 The inspector shall inspect: F) installed ovens, ranges, surface cooking appliances, microwave ovens, dish washing machines, and food waste grinders by using normal operating controls to activate the primary function. 11.2 The inspector is NOT required to inspect: G) installed and free-standing kitchen and laundry appliances not listed in Section 10.1.F) H) appliance thermostats including their calibration, adequacy of heating elements, self cleaning oven cycles, indicator lights, door seals, timers, clocks, timed features, and other specialized features of the appliance. I) operate, or confirm the operation of every control and feature of an inspected appliance.

Insulation and Ventilation

12.1 The inspector shall: A) inspect: 1. insulation and vapor retarders in unfinished spaces. 2. ventilation of attics and foundation areas. 3. kitchen, bathroom, laundry, and similar exhaust systems. 4. clothes dryer exhaust systems. B) describe: 1. insulation and vapor retarders in unfinished spaces. 2. absence of insulation in unfinished spaces at conditioned surfaces. 12.2 The inspector is NOT required to disturb insulation.

Fireplaces and Fuel-Burning Appliances

13.1 The inspector shall: A) inspect: 1. fuel-burning fireplaces, stoves, and replace inserts. 2. fuel-burning accessories installed in replaces. 3. chimneys and vent systems. B) describe systems and components listed in 13.1. A) .1 and .2. 13.2 The inspector is NOT required to: A) inspect: 1. interiors of vent systems, flues, and chimneys that are not readily accessible. 2. fire screens and doors. 3. seals and gaskets. 4. automatic fuel feed devices. 5. mantles and replace surrounds. 6. combustion air components and to determine their adequacy. 7. heat distribution assists (gravity fed and fan assisted). 8. fuel-burning fireplaces and appliances located out- side the inspected structures. B) determine draft characteristics. C) move fireplace inserts and stoves or firebox contents.