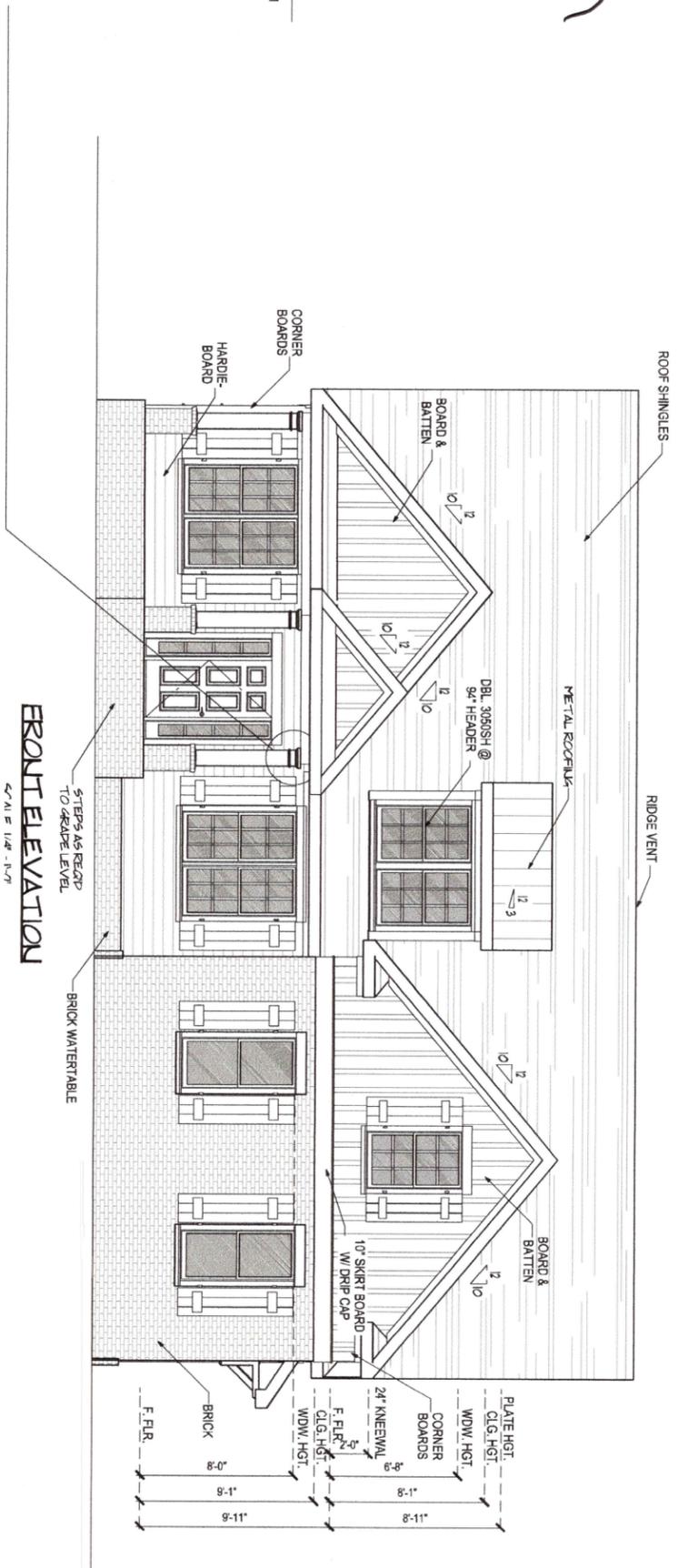
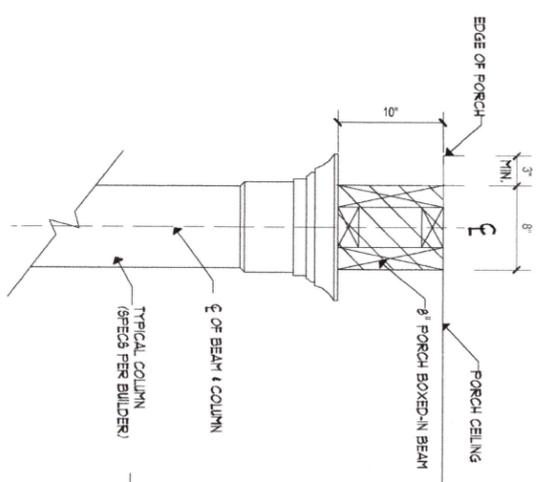
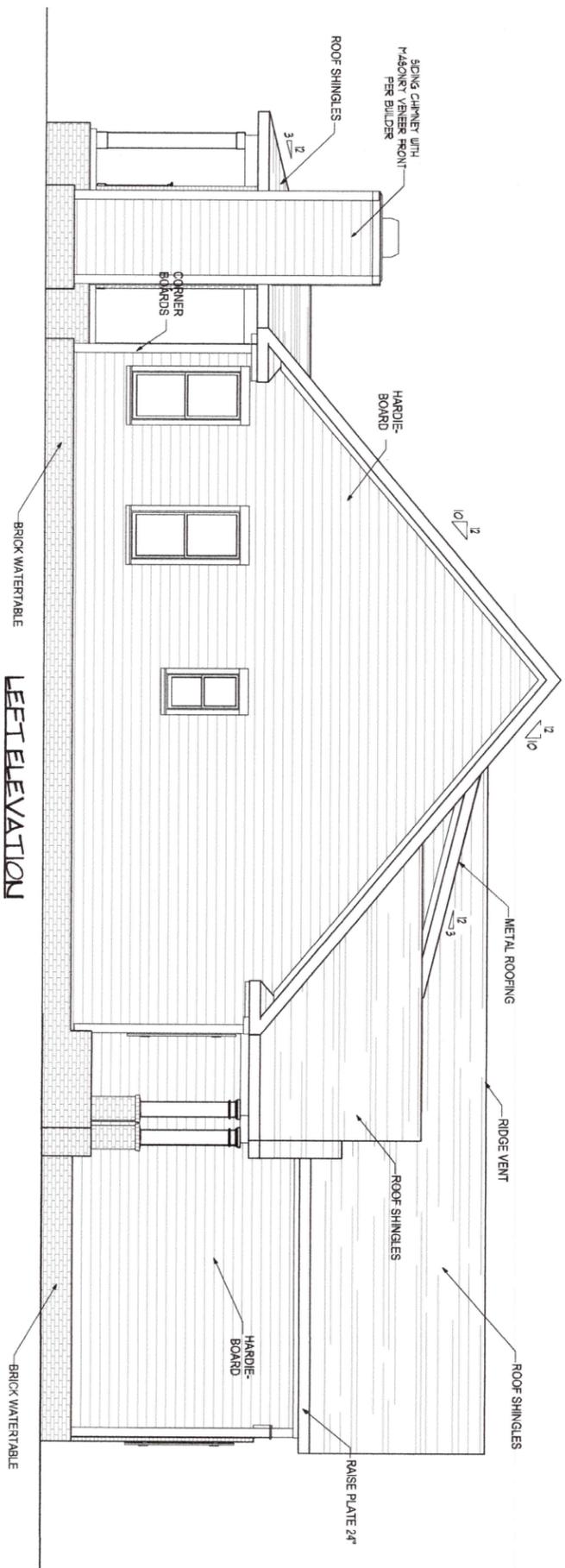


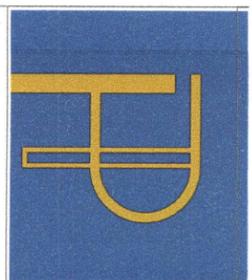
*NO  
Fireplace on  
Outside porch*



**FRONT ELEVATION**  
SCALE 1/4" = 1'-0"



**LEFT ELEVATION**  
SCALE 1/4" = 1'-0"



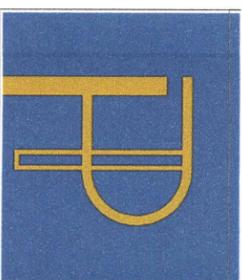
**PARAGON**  
DESIGNS  
809-A OAKHURST DR.  
EVANS, G.A. 30809  
OFFICE: 706-364-8554  
FAX: 706-855-7945

Date	Revision Table	Description

PROJECT DESCRIPTION:  
**LOT 33AE BROOKSHIRE MEADOWS - SR**  
BUILDER:  
**IDK HOMES**

**DISCLAIMER NOTES:**  
TO the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made after prints are made and/or approved will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify enclosed drawing for builder and/or owner's standards. PARAGON HOME DESIGNS LLC is not liable for design discrepancies once construction has begun. While every effort has been made in the preparation of this plan to avoid any oversights, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

**A-1**  
SHEET # 1 OF 7  
SCALE: AS NOTED  
DATE PRINTED: 2/6/2025



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**Revision Table**

Date	Description

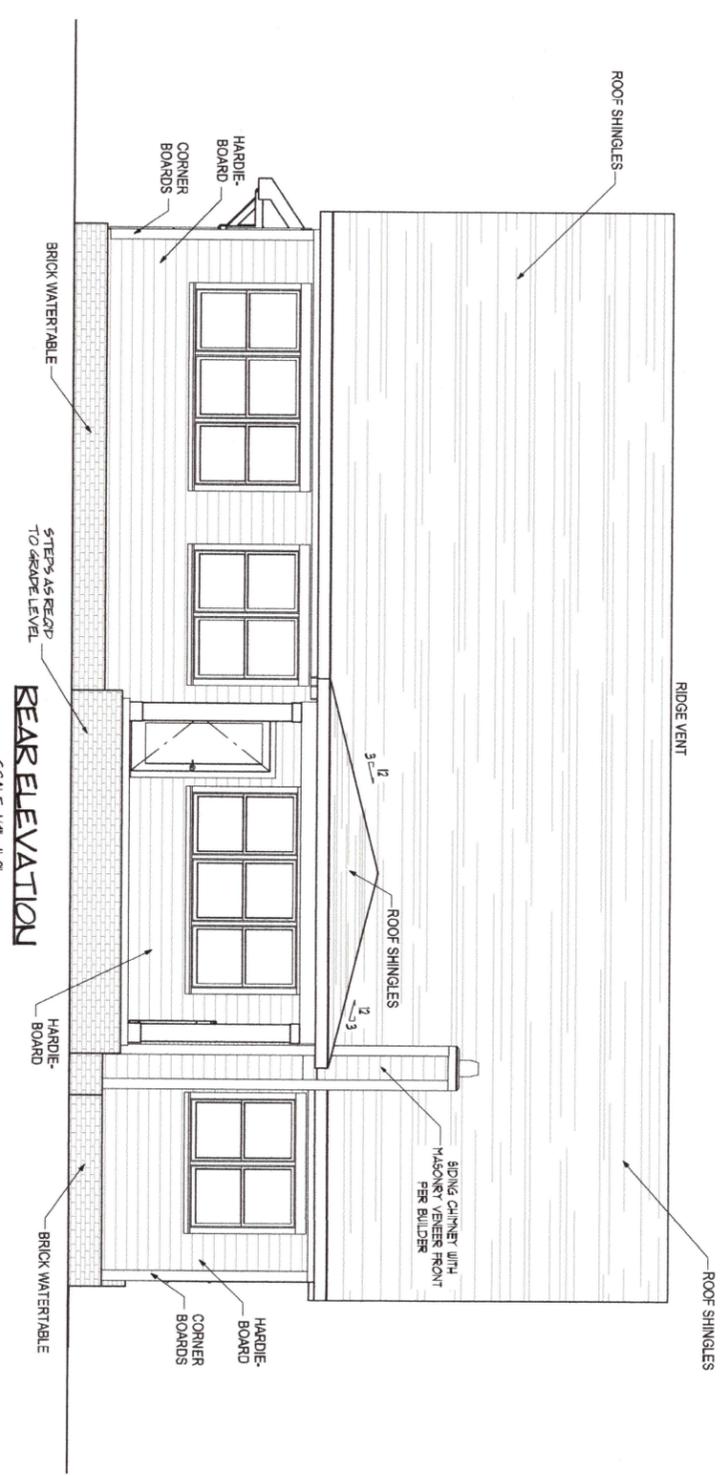
PROJECT DESCRIPTION:  
**LOT 33AE BROOKSHIRE MEADOWS - SR**

BUILDER:  
**IDK HOMES**

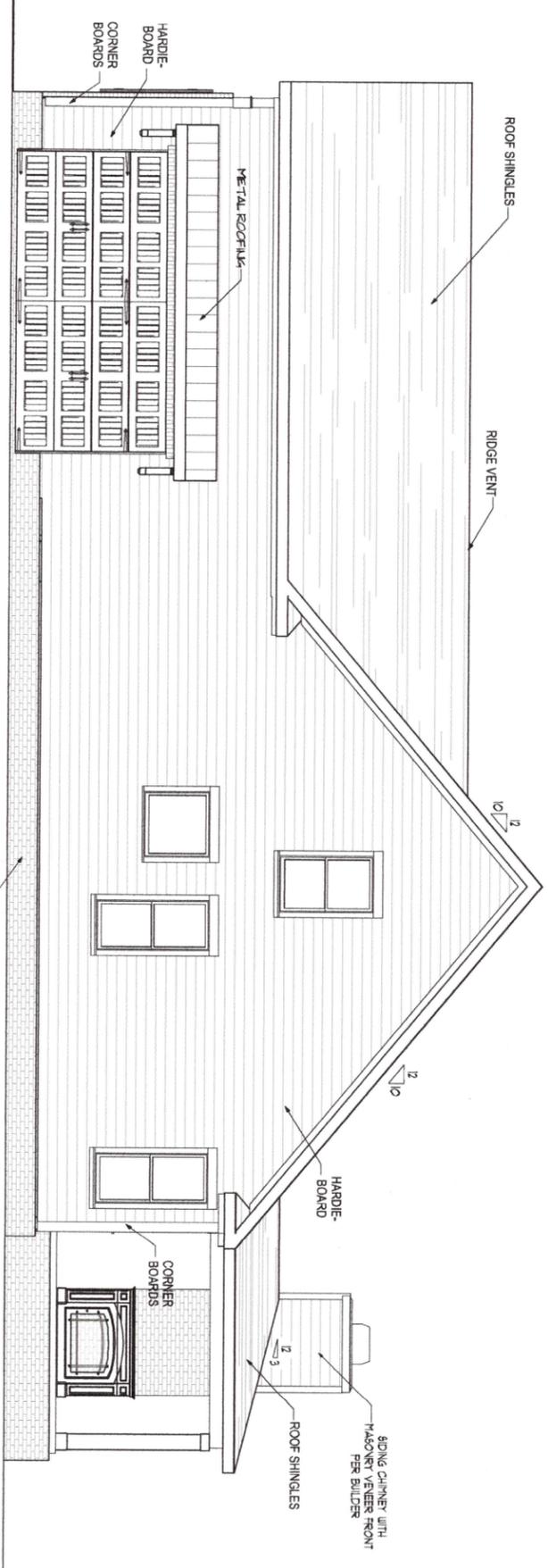
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**A-2**

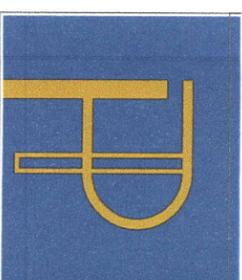
**SHEET # 2 OF 7**  
SCALE: AS NOTED  
DATE PRINTED: 2/6/2025



**REAR ELEVATION**  
SCALE 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE 1/4" = 1'-0"



**PARAGON**  
DESIGNS

809-A OAKHURST DR.  
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FAX: 706-955-7945

Date	Revision Table	Description

PROJECT DESCRIPTION:  
**LOT 33AE BROOKSHIRE MEADOWS - SR**  
BUILDER:  
**IDK HOMES**

**DISCLAIMER NOTES:**  
TO THE BEST OF MY KNOWLEDGE these plans are drawn to comply with all applicable building codes and regulations. These plans are drawn to comply with owner's and/or builder's specifications and any changes made after prints are made and/or approved will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. SOY (SOY) CUSTOM HOME DESIGNS, INC. is not liable for design discrepancies once construction has begun. While every effort has been made in the preparation of this plan to avoid any oversights, the maker can not guarantee against human error. The contractor of the job must check all dimensions and details prior to construction and be solely responsible thereafter.

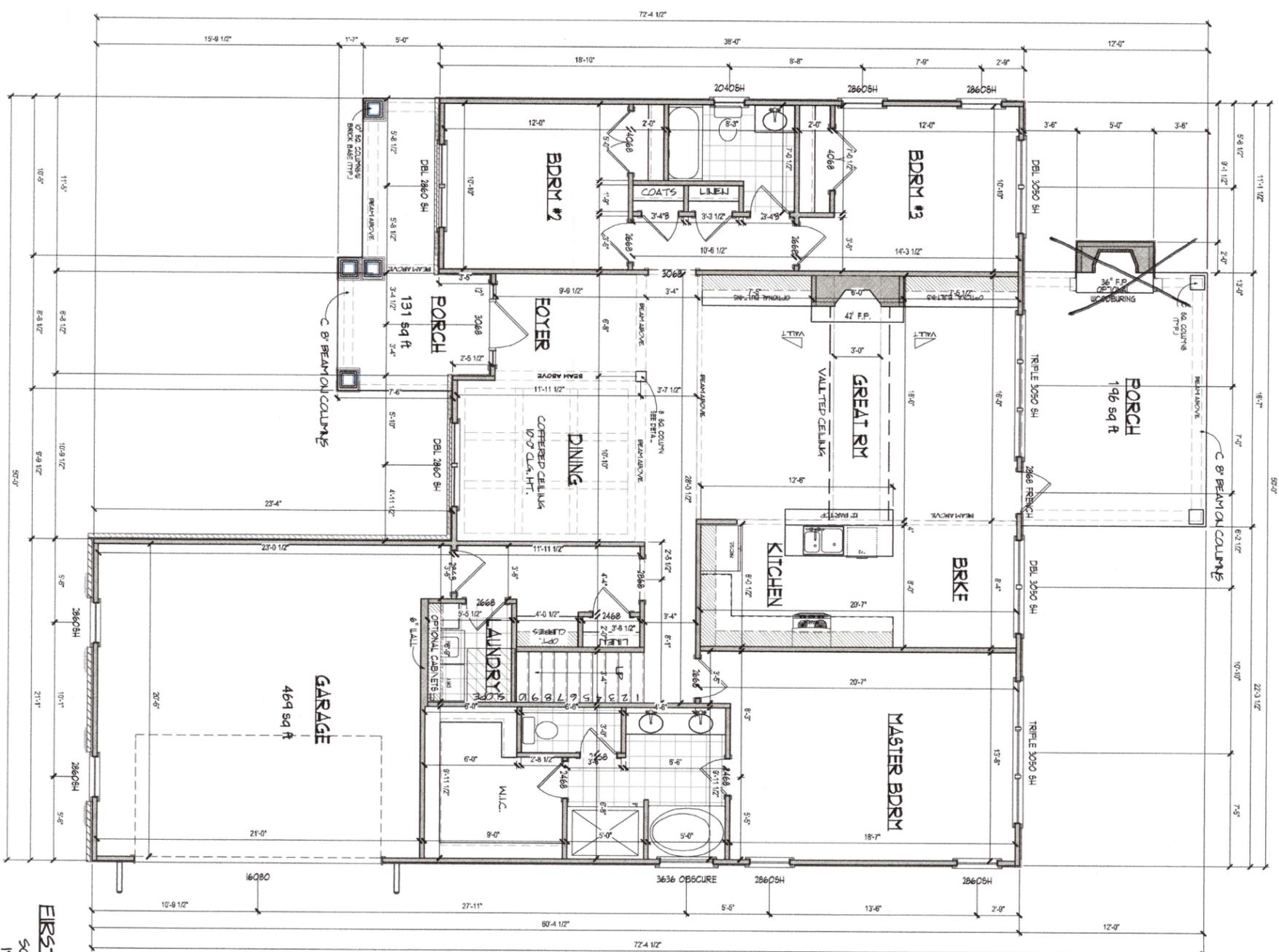
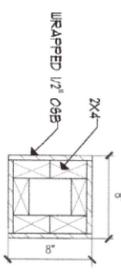
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**A-4**  
SHEET # 4 OF 7  
SCALE: AS NOTED  
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ESTIMATED SQUARE FOOTAGE	
FIRST FLOOR HTD.	1909 SQ-FT.
SECOND FLOOR HTD.	620 SQ-FT.
TOTAL HTD.	2529 SQ-FT.
FRONT PORCH	131 SQ-FT.
BACK PORCH	196 SQ-FT.
GARAGE	469 SQ-FT.
TOTAL	3325 SQ-FT.

**FIRST FLOOR PLAN**

SCALE 1/4" = 1'-0"  
1909 SQ-FT.  
9'-0" CLG. HGT.



**RAILING NOTES:**  
STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34". HAND RAILS MAY ENCRUSH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH.  
TREADS SHALL HAVE A MIN. WIDTH OF 10". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".  
STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.  
ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" Gypsum WALL BOARD.  
STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.  
HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.  
STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.  
34" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 30" BELOW. RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".  
THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.  
EXTERIOR SPIRAL STAIRS TO BE FABRICATED AND INSTALLED PER THE MFG. INSTRUCTIONS.

**NOTE:** THE BUILDER / CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STRUCTURAL DESIGNS, FOUNDATIONS, AND SPECIALTY ITEMS (E.G. BRACING, FOUNDATION, CONC. SLABS, ETC.)  
THE BUILDER / CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING OR EXCEEDING THE LATEST EDITION OF THE IRC, (INTERNATIONAL RESIDENTIAL CODE) AND LOCAL AUTHORITIES HAVING JURISDICTION.  
**NOTE:** TEMPERED WINDOWS FINISH 1/2" OF ARCHTOP FLOOR  
**NOTE:** F. PORCHES ARE HOBE THAT 32" TO 36" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.  
ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS.  
GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS  
ALL GLAZING WITHIN 18 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL GLAZING) ARE TO HAVE SAFETY GLAZING. ALL GLAZING WITHIN 60 IN. OF TUB OR SHOWER FLOOR, 80 IN. OF A STAIR LANDING OR GREATER THAN 9 SQUARE FEET ARE TO HAVE SAFETY GLAZING.  
ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.  
ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN. DEADBOLT LOOKS ON ALL EXTERIOR DOORS AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE. PROVIDE PEERHOLE 54-66 IN. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS.

**NOTE:** ALL WILDOORS AT 8'-0" UNLESS NOTED OTHERWISE.  
**NOTE:** ALL ALUM. ARE 45 DEGREES UNLESS NOTED OTHERWISE.  
**NOTE:** PHEASANTS ARE TO FRAME WALL EXTERIOR CONTRACTOR TO ADD FOR MAJORLY VENER AS READ  
**NOTE:** ALL WILDOORS AT 8'-0" UNLESS NOTED OTHERWISE.  
**NOTE:** ALL PHENOLICS TO STUD WALL  
**NOTE:** F. JOISTS OR WIER TRUSSES CONTRACTOR TO ADJUST STAIR TREADS AS READ  
**NOTE:** SET PORCH BEAMS IN FROM EDGE OF SLAB MINIMUM 3"  
**NOTE:** F. JOISTS OR WIER TRUSSES CONTRACTOR TO ADJUST STAIR TREADS AS READ  
**NOTE:** ALL PHENOLICS TO STUD WALL  
**NOTE:** ALL ALUM. ARE 45 DEGREES UNLESS NOTED OTHERWISE  
**NOTE:** PHEASANTS ARE TO FRAME WALL EXTERIOR CONTRACTOR TO ADD FOR MAJORLY VENER AS READ  
**NOTE:** ALL WILDOORS AT 8'-0" UNLESS NOTED OTHERWISE



**PARAGON**  
DESIGNS

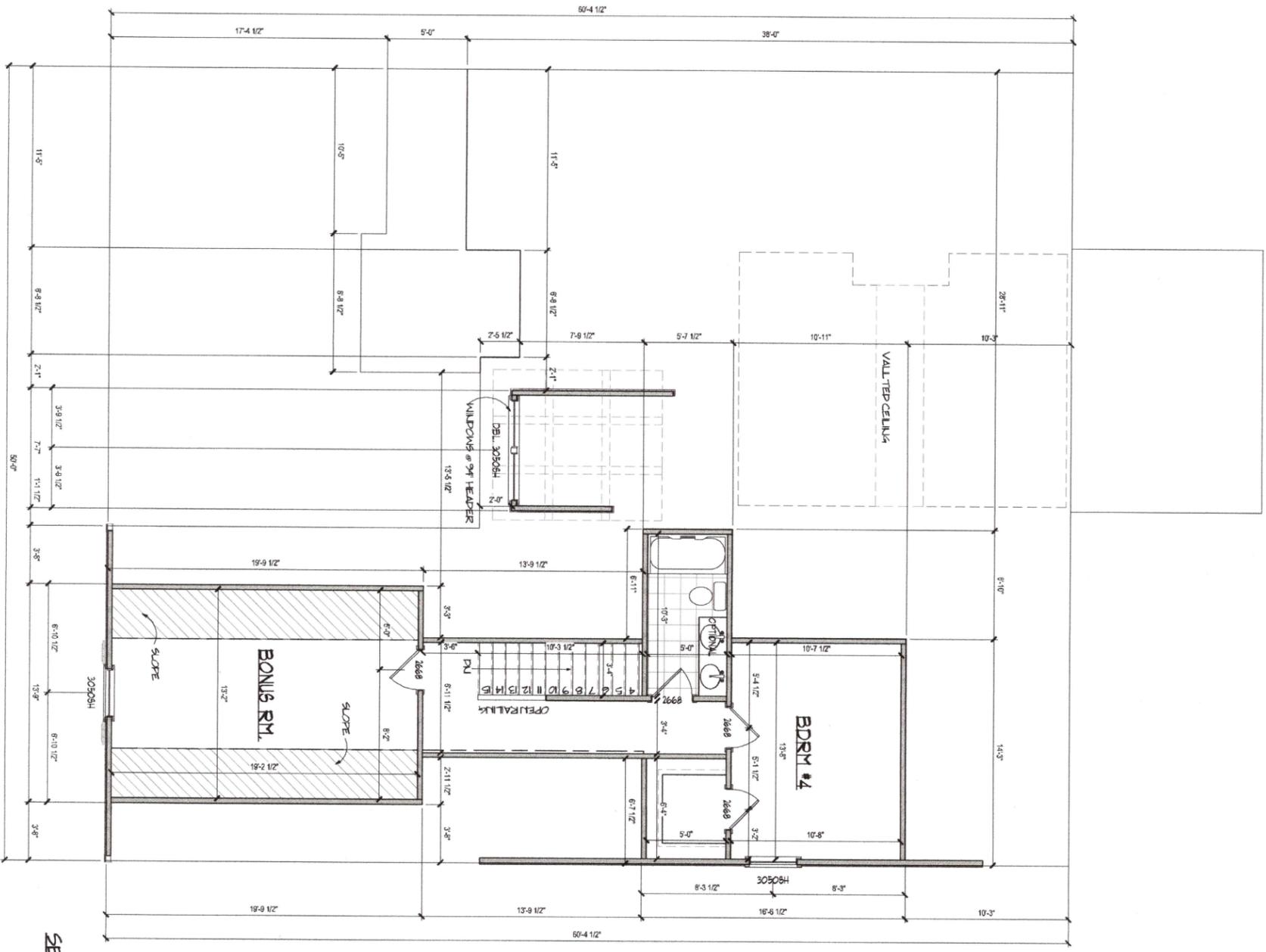
809-A OAKHURST DR.  
EVANS, G.A. 30809  
OFFICE: 706-364-8564  
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Revision Table  
Date Description

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**LOT 33AE BROOKSHIRE MEADOWS - SR**  
BUILDER:  
**IDK HOMES**

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**A-5**  
SHEET # 5 OF 7  
SCALE: AS NOTED  
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- NOTE: CONTRACTOR TO VERIFY LOCAL CODES BEFORE START OF CONSTRUCTION.
- NOTE: TEMPERED WINDOWS NOT TO BE LESS THAN 5/8" ARCH FOR FLOOR.
- NOTE: F.L.DIST'S OR MIEB TRUSSES CONTRACTOR TO ADJUST STAIR TREADS AS REQ'D
- NOTE: ALL PERIMETERS TO STUD WALL
- NOTE: ALL ALIGES ARE TO BE FINISHED UNLESS NOTED OTHERWISE
- NOTE: DIMENSIONS ARE TO FRAME WALL EXTERIOR CONTRACTOR TO ADD FOR MASONRY VENEER AS REQ'D

**SECOND FLOOR PLAN**  
SCALE 1/4" = 1'-0"  
620 SFT  
8'-0" CLG. HGT.