

REVISION	DATE	BY

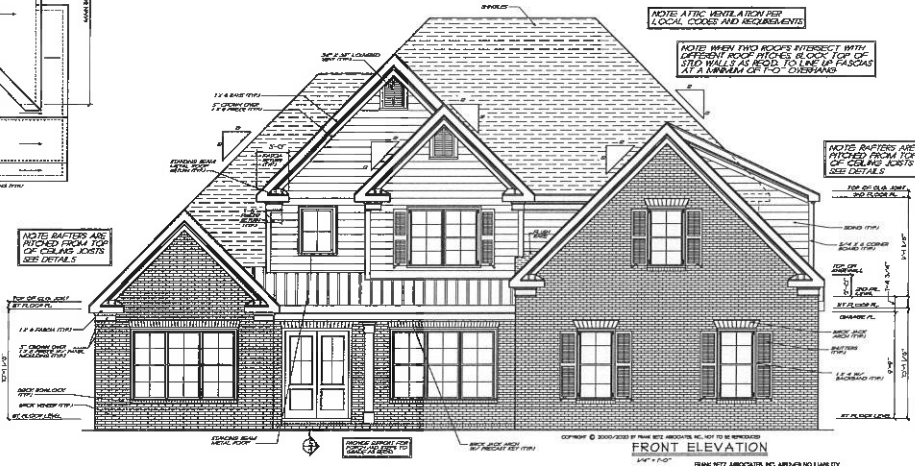
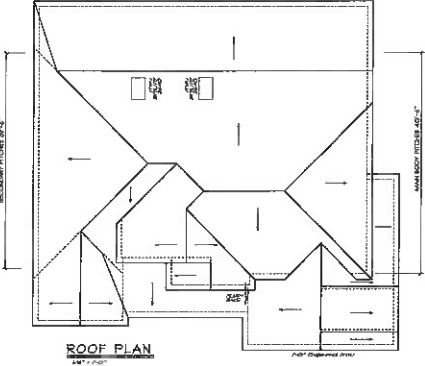
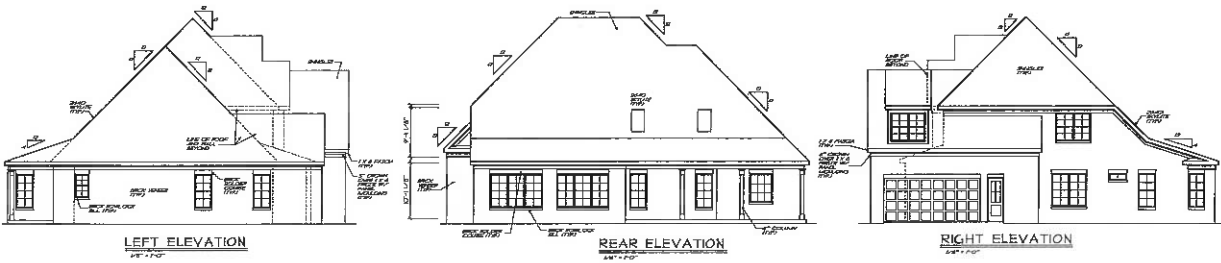
DILLARD WALLACE CONSTRUCTION
KINUSSTON, N.C.

ELEVATIONS AND ROOF PLAN
THE AMBROSE

FRANK BEITZ ASSOCIATES, INC.
ARCHITECTS
1000 W. MAIN ST. SUITE 100
RICHMOND, VA 23220
TEL: 804.343.1100
WWW.FRANKBEITZ.COM

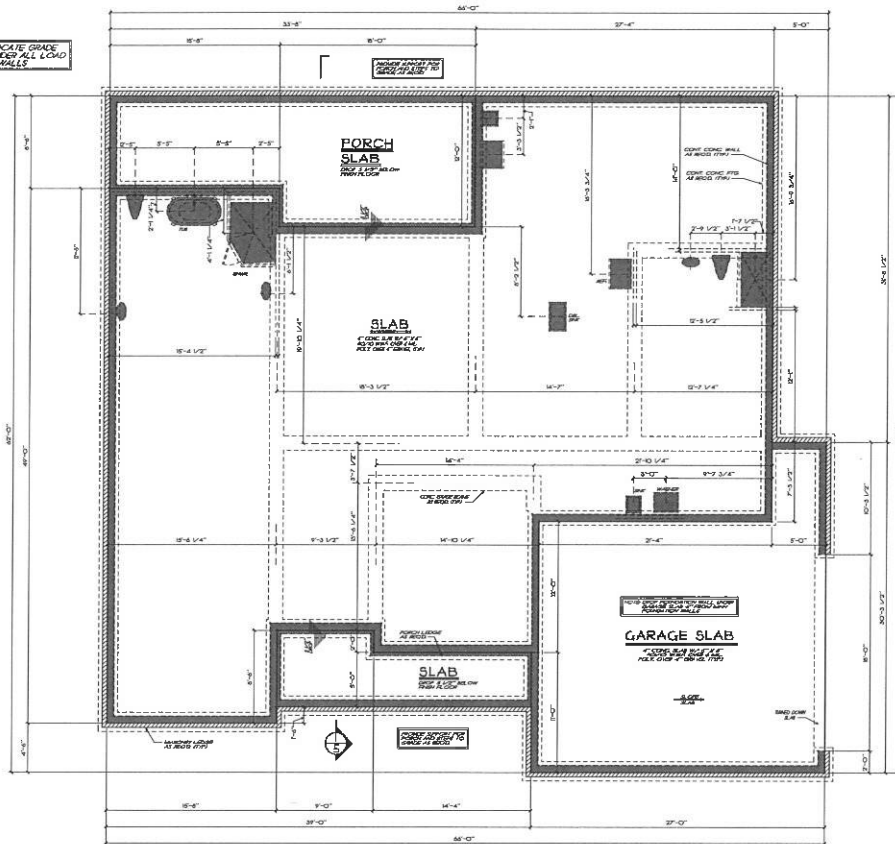
BY: [Signature] DATE: 6-20-09

SUBJECT: [Blank] 01 5



FRANK BEITZ ASSOCIATES, INC. MAKES NO WARRANTY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.

NOTE: LOCATE GRADE
 BEARS UNDER ALL LOADS
 BEARING WALLS



RAISED SLAB FOUNDATION
 2/27/2007

REVISIONS	DATE	BY

DILLARD WALLACE CONSTRUCTION
 KINGSTON, N.C.

RAISED SLAB FOUNDATION
 THE AMBROSE

FRANK BETZ ASSOCIATES, INC.
 ARCHITECTS AND ENGINEERS
 1000 W. BROADWAY, SUITE 100
 CHARLOTTE, NORTH CAROLINA 28202
 704.375.1100

BY: JF CTD ABP

DATE: 6-20-07

SHEET
2
 OF 5

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF KINGSFORD, MISSISSIPPI, ORDINANCES AND THE MISSISSIPPI BUILDING CODE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE LOCAL AND STATE AUTHORITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
7. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.
8. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES ON THIS PLAN.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

GENERAL FRAMING NOTES

1. ALL FRAMING SHALL BE PERFORMED IN ACCORDANCE WITH THE MISSISSIPPI BUILDING CODE.
2. ALL FRAMING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF KINGSFORD, MISSISSIPPI, ORDINANCES.
3. ALL FRAMING SHALL BE PERFORMED IN ACCORDANCE WITH THE MISSISSIPPI BUILDING CODE.
4. ALL FRAMING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF KINGSFORD, MISSISSIPPI, ORDINANCES.
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10. ALL FRAMING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF KINGSFORD, MISSISSIPPI, ORDINANCES.

WARRANTY AND LIABILITY

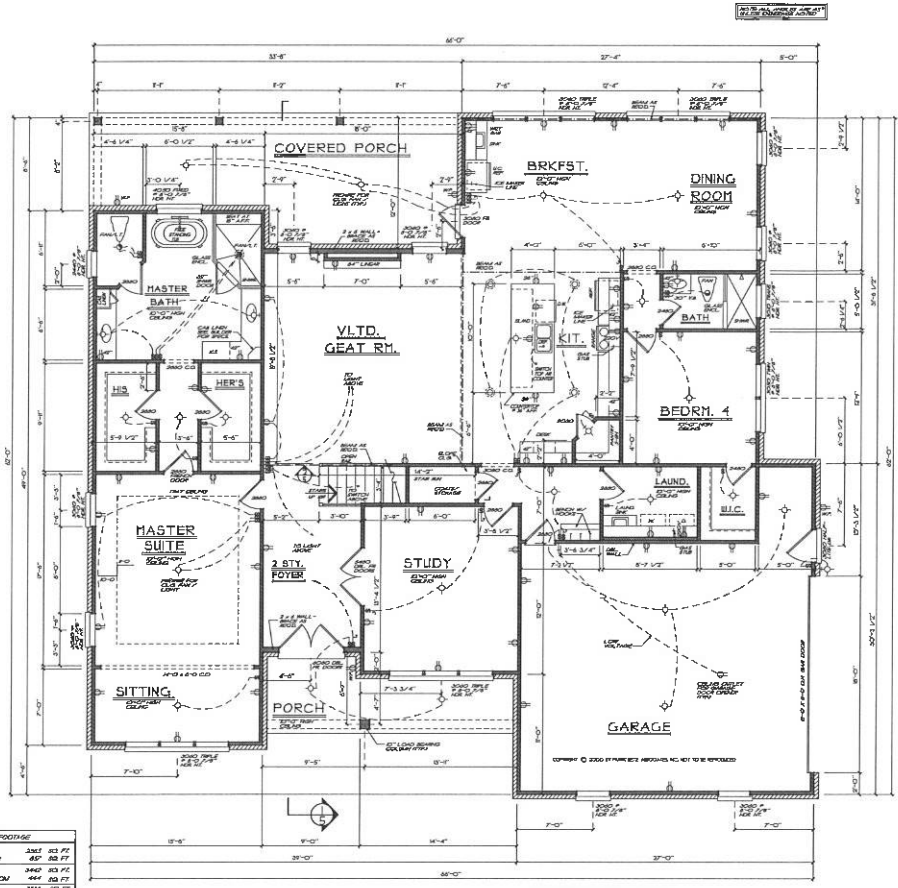
FRANK BEITZ ASSOCIATES, INC. WARRANTS THE DESIGN AND CONSTRUCTION OF THE PROJECT TO BE IN ACCORDANCE WITH THE MISSISSIPPI BUILDING CODE AND THE CITY OF KINGSFORD, MISSISSIPPI, ORDINANCES.

FRANK BEITZ ASSOCIATES, INC. SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT PROPERTIES OR PERSONS OR PROPERTY CAUSED BY THE CONTRACTOR'S NEGLIGENCE OR MISFEASANCE.

FRANK BEITZ ASSOCIATES, INC. SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT PROPERTIES OR PERSONS OR PROPERTY CAUSED BY THE CONTRACTOR'S NEGLIGENCE OR MISFEASANCE.

NOTE: THESE DIMENSIONS DO NOT REPRESENT CONSTRUCTION DIMENSIONS. CONSTRUCTION DIMENSIONS SHALL BE DETERMINED BY THE CONTRACTOR'S FIELD MEASUREMENTS.

NOTE: CONSULT THE ARCHITECT'S GENERAL NOTES FOR ALL DIMENSIONS AND SPECIFICATIONS.



ROOM	AREA (SQ. FT.)
1ST FLOOR	2361
2ND FLOOR	457
TOTAL	2818

FIRST FLOOR PLAN

FRANK BEITZ ASSOCIATES, INC. MAKES NO WARRANTY FOR ANY CHANGE OR MODIFICATION MADE TO THESE PLANS BY OTHER.

REVISION	DATE	BY

DILLARD WALLACE CONSTRUCTION
KINGSTON, N.C.

FIRST FLOOR PLAN

THE AMBROSE

FRANK BEITZ ASSOCIATES, INC.
ARCHITECTS
1000 LINDSEY BLVD., SUITE 100
KINGSTON, N.C. 28761
770-441-0000

BY: [Signature] DATE: 6/20/09

PROJECT: [Project Name]

3

NO.	DATE	BY

DILLARD WALLACE CONSTRUCTION
KINGSTON, N.C.

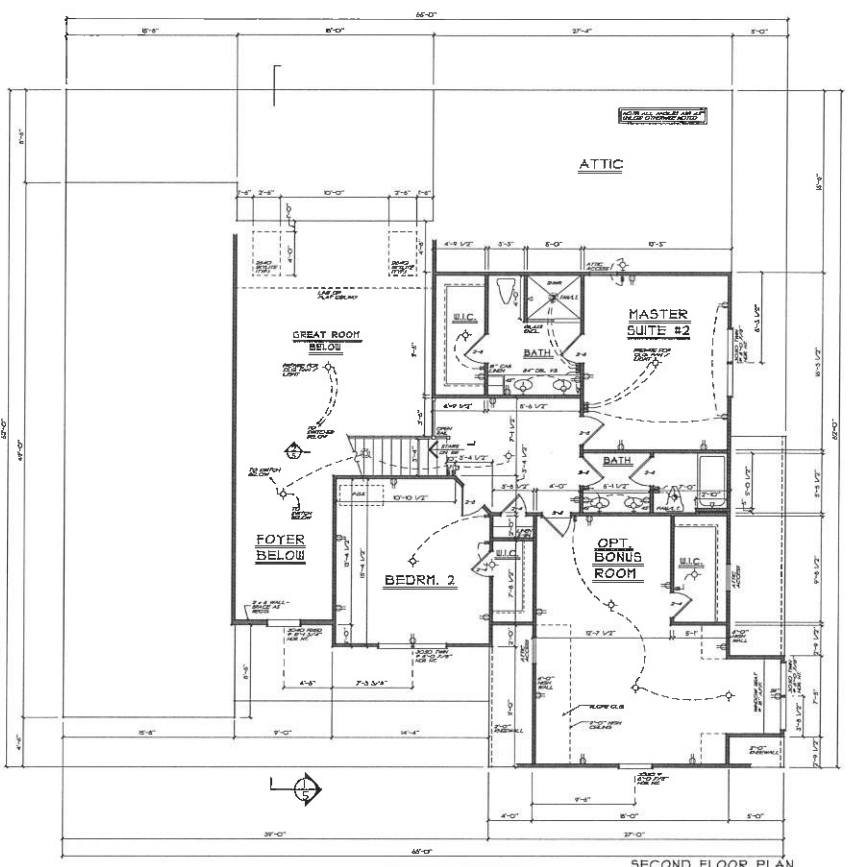
SECOND FLOOR PLAN / DETAIL
THE AMBROSE

FRANK BEITZ
ASSOCIATES, INC.
CONSTRUCTION AND ARCHITECTURE
1000 W. MARKET STREET, SUITE 100
KINGSTON, N.C. 28761
757-521-1000

BT, JM, CK, HW

DATE: 6-20-07

SHEET
4
OF 5



WARRANTY AND LIABILITY
This plan is prepared by the architect in accordance with the provisions of the contract documents. It is the responsibility of the contractor to verify the accuracy of the information provided by the owner and to ensure that the construction conforms to the contract documents. The architect does not warrant the accuracy of the information provided by the owner and is not responsible for any errors or omissions in the plan. The architect's liability is limited to the design and construction of the building as shown on the plan. The architect does not warrant the accuracy of the information provided by the owner and is not responsible for any errors or omissions in the plan. The architect's liability is limited to the design and construction of the building as shown on the plan.

NOTE: CHECK WATER MAINS & SEWER FOR CORRECTION AND REVISIONS BEFORE COMMENCING CONSTRUCTION.
FRANK BEITZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY DAMAGE OR LOSSES CAUSED BY THIS PLAN OR OTHER INFORMATION.

FRANK BEITZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY DAMAGE OR LOSSES CAUSED BY THIS PLAN OR OTHER INFORMATION.

SECOND FLOOR PLAN
DATE: 6-20-07

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

5. ALL UTILITIES SHALL BE LOCATED AND PROTECTED PRIOR TO CONSTRUCTION.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

7. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.

8. ALL FINISHES SHALL BE AS NOTED ON THE FINISH SCHEDULE.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

10. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

GENERAL FINISHING NOTES

1. ALL INTERIORS SHALL BE FINISHED WITH 1/2" TYPE X GYPSUM BOARD ON ALL WALLS AND CEILING.

2. ALL EXTERIORS SHALL BE FINISHED WITH 5/8" TYPE X GYPSUM BOARD ON ALL WALLS.

3. ALL INTERIORS SHALL BE PAINTED WITH A QUALITY INTERIOR PAINT.

4. ALL EXTERIORS SHALL BE PAINTED WITH A QUALITY EXTERIOR PAINT.

5. ALL FLOORS SHALL BE FINISHED WITH 1/2" PLYWOOD ON ALL SUBFLOORS.

6. ALL FLOORS SHALL BE FINISHED WITH 3/4" PLYWOOD ON ALL SUBFLOORS.

7. ALL FLOORS SHALL BE FINISHED WITH 1/2" PLYWOOD ON ALL SUBFLOORS.

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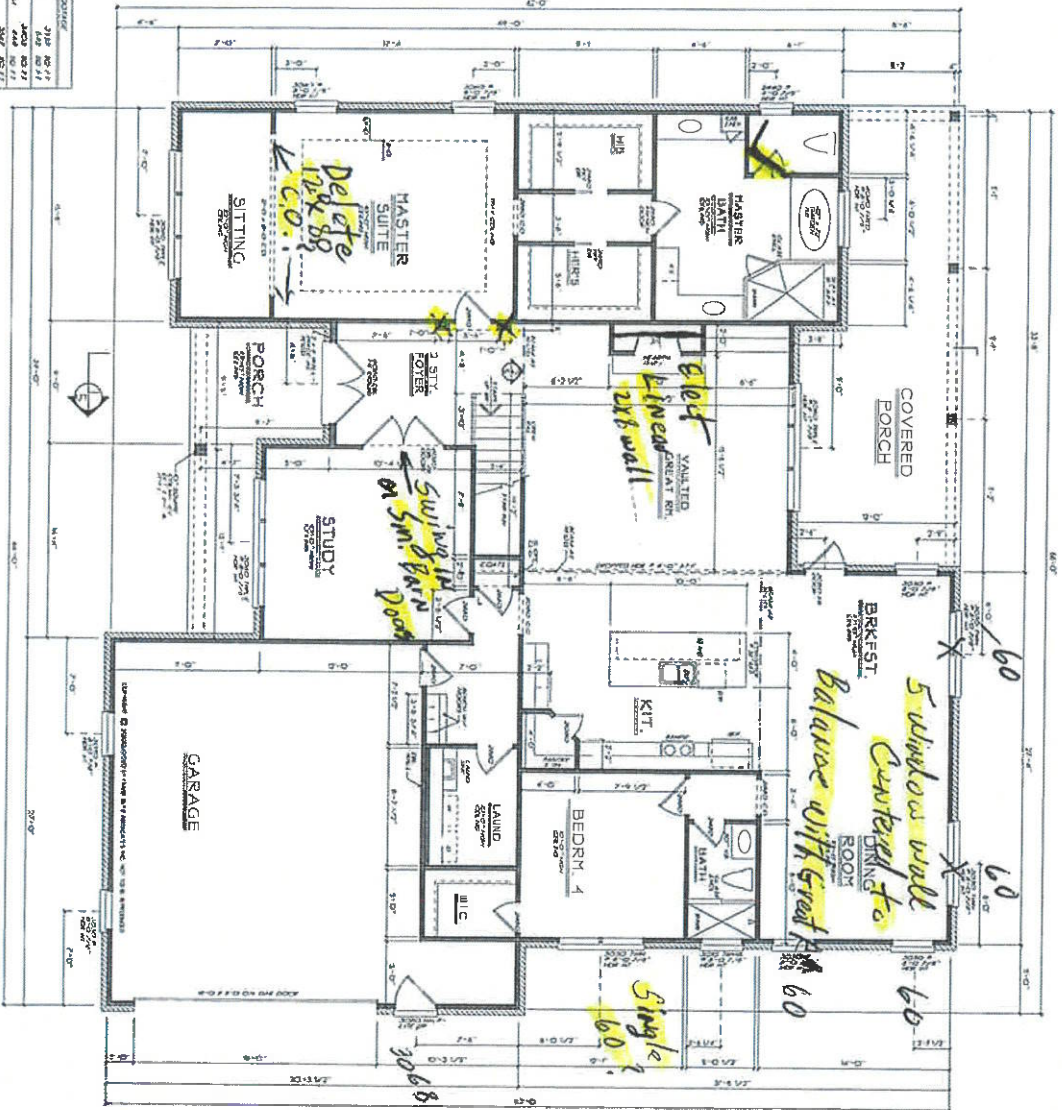
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10. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

DATE	BY	DESCRIPTION
01/15/21	JAC	REVISED PER COMMENTS
01/15/21	JAC	REVISED PER COMMENTS
01/15/21	JAC	REVISED PER COMMENTS
01/15/21	JAC	REVISED PER COMMENTS



FIRST FLOOR PLAN

PLEASE REFER TO THE FINISH SCHEDULE FOR ALL FINISHES AND MATERIALS. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.

3

DATE: 01/15/21
BY: JAC

FRANK BETZ ASSOCIATES, INC.
 3550 GEORGE BILBUSE PARKWAY
 SUITE 100
 MARIETTA, GEORGIA 30141
 770-431-0966

FIRST FLOOR PLAN
 THE AMBROSE

DILLARD WALLACE CONSTRUCTION
 KINGSTON, N.C.

NO.	DATE	DESCRIPTION

GENERAL NOTES

1. ALL NEW WORK IS SHOWN UNLESS OTHERWISE NOTED.
2. EXISTING WORK IS SHOWN WITH DASHED LINES.
3. ALL DIMENSIONS ARE IN FEET AND INCHES.
4. ALL FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
5. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.
6. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.
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GENERAL FRAMING NOTES

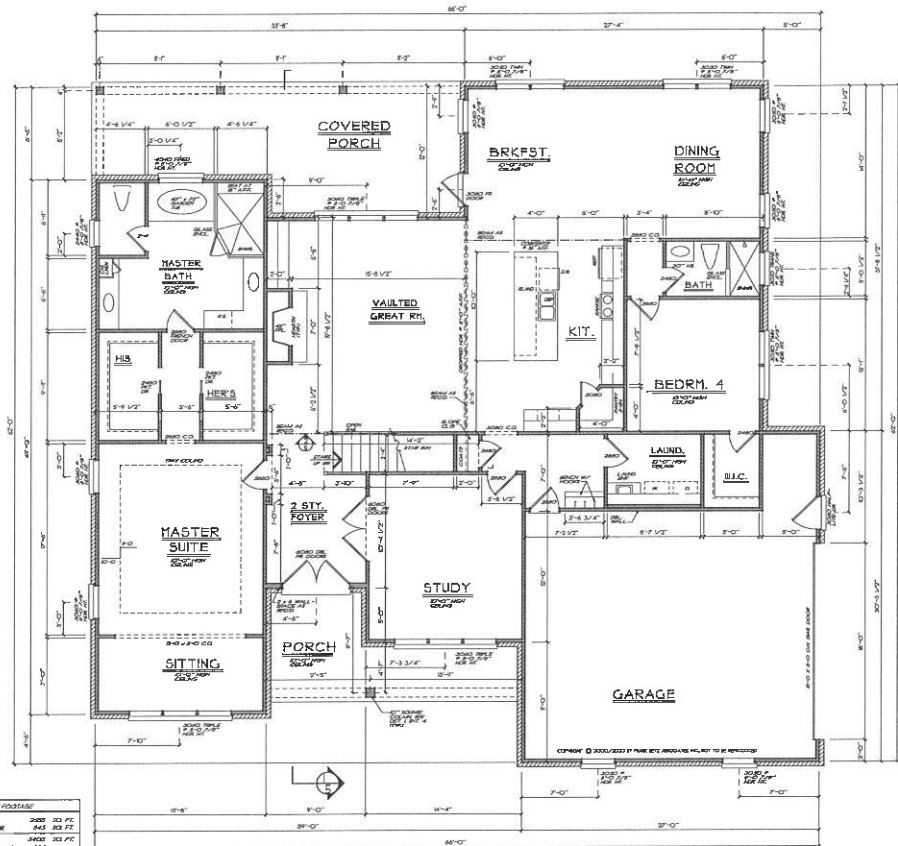
1. ALL FRAMING IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
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WARRANTY AND LIABILITY

THESE PLANS AND SPECIFICATIONS ARE PREPARED BY FRANK BEITZ ASSOCIATES, INC. FOR THE ARCHITECT'S USE. FRANK BEITZ ASSOCIATES, INC. MAKES NO WARRANTY FOR ANY DAMAGES OR LOSSES OF ANY KIND ARISING FROM THE USE OF THESE PLANS AND SPECIFICATIONS.

NOTES: THESE DIMENSIONS DO NOT REPRESENT FINISHES. FINISHES ARE TO BE DETERMINED BY THE ARCHITECT. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

SQUARE FOOTAGE	
FIRST FLOOR	3200 SQ FT
SECOND FLOOR	1462 SQ FT
PORCH	3400 SQ FT
OFF-BRICK ROOM	444 SQ FT
TOTAL	3847 SQ FT



FIRST FLOOR PLAN
1/4" = 1'-0" (NOT TO SCALE)

FRANK BEITZ ASSOCIATES, INC. MAKES NO WARRANTY FOR ANY DAMAGES OR LOSSES OF ANY KIND ARISING FROM THE USE OF THESE PLANS AND SPECIFICATIONS.

REVISION	DATE	BY

DILLARD WALLACE CONSTRUCTION
KINGSTON, N.C.

FIRST FLOOR PLAN

THE AMERSE

FRANK BEITZ ASSOCIATES, INC.
COMMERCIAL ARCHITECTS AND INTERIORS
1000 GORDON STREET, SUITE 100
KINGSTON, N.C. 28761
770-481-0088

DATE: 6-24-24

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