



# Residential Design Standards

Revised and Effective

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# Residential Design Standards

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## PREFACE

In order to assure that high design standards are achieved and to assure a continuity of physical development such that future development will be compatible with existing development, Ocean Ridge Farms, Inc. (the former “Declarant”) has declared and recorded covenants, conditions, and restrictions applicable to Ocean Ridge Plantation®. Coastal Communities @ Ocean Ridge Plantation® (CC@ORP) is now new “Declarant” as of January 1, 2004. That Master Declaration of Covenants, Conditions, and Restrictions (the “Declaration”) establishes the Ocean Ridge Master Association, Inc., which in turn is obligated to establish an Architectural Standards Committee (the “ASC”) and set forth said Committee’s jurisdiction, powers, obligations and the rules and regulations under which it will conduct its review of proposed improvements. Any statements contained in this document are to condense, amplify, or clarify provisions of the Declaration. In the event of a conflict, the Declaration’s provisions will prevail. Prior to submitting an application to the ASC, the applicant is urged to carefully review all provisions of the Master Declaration of Covenants, Conditions, and Restrictions for Ocean Ridge Plantation®, in particular Article XI, and any other supplemental covenants, conditions and restrictions which may apply.

The design and construction of your new home at Ocean Ridge Plantation® should be a pleasant and satisfying experience. The Declarant has created the Residential Design Standards (the “Design Standards”) to help you understand the vision, process and standards that have been established for the benefit of all. The Architectural Standards Committee (ASC) encourages the “Southern Traditional Style” of design in Ocean Ridge, though creative, compatible and similar period styles are acceptable. The ASC requires the designer of your home to fully understand and interpret the intent of the guidelines, while creating well balanced and articulated exterior views of the home that share consistent detailing, window selection and roof forms. Through this careful planning of your new home, the designer creatively incorporating your family needs and taking full advantage of homesite views and topography, you will achieve a very desirable residence and also add value to your new community, Ocean Ridge Plantation®.

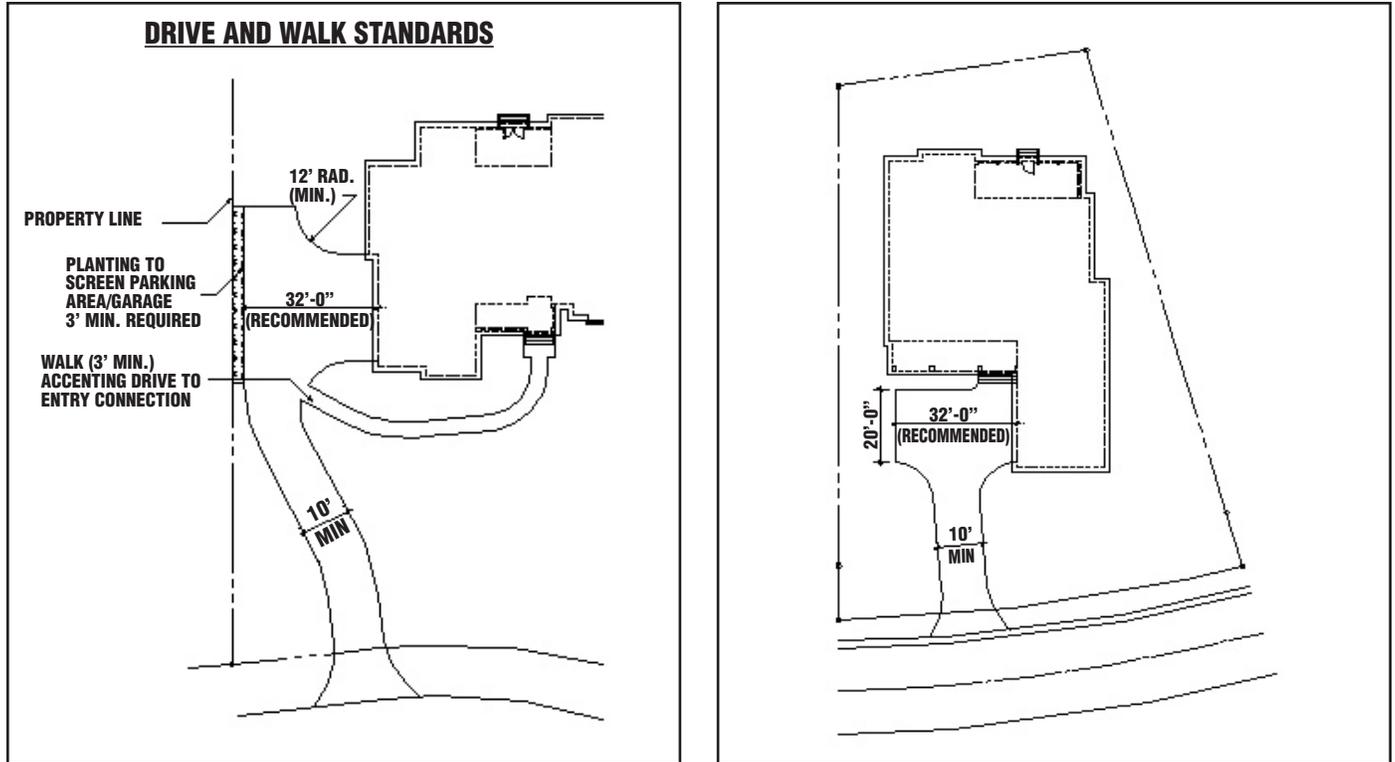
The Design Standards have been created to assist property owners, their residential designers, and homebuilders, to understand the intent of the Declarant in the aesthetic vision for Ocean Ridge Plantation®. It is not the intent of the Design Standards to prescribe what is beautiful or to inhibit creativity, but to establish required design criteria to assist property owners and designers in planning a residence that will compliment and also enhance the natural beauty of the development. In using the following criteria as a reference guide, your design professional can effectively blend your family’s needs into a new home that reflects the aesthetic and creative design and detailing desired in Ocean Ridge Plantation®. To help ensure compliance with the following Design Standards, to maintain the very high quality of design and construction desired at Ocean Ridge Plantation®, and to aid in protecting your new home investment, you are required to either obtain the services of a currently registered architect or a residential designer certified in accordance with the National Council for Building Design Certification (NCBDC) program, or equal as determined by the ASC. A list of qualified area design professionals is available at the ASC office.

# SECTION I: SITE DESIGN STANDARDS.

## 1.1 Antennas

Exterior antennas are not allowed except for small satellite dishes, whose size and location must be approved by the ASC.

## 1.2 Driveways, Parking and Walkways *(See Diagrams)*

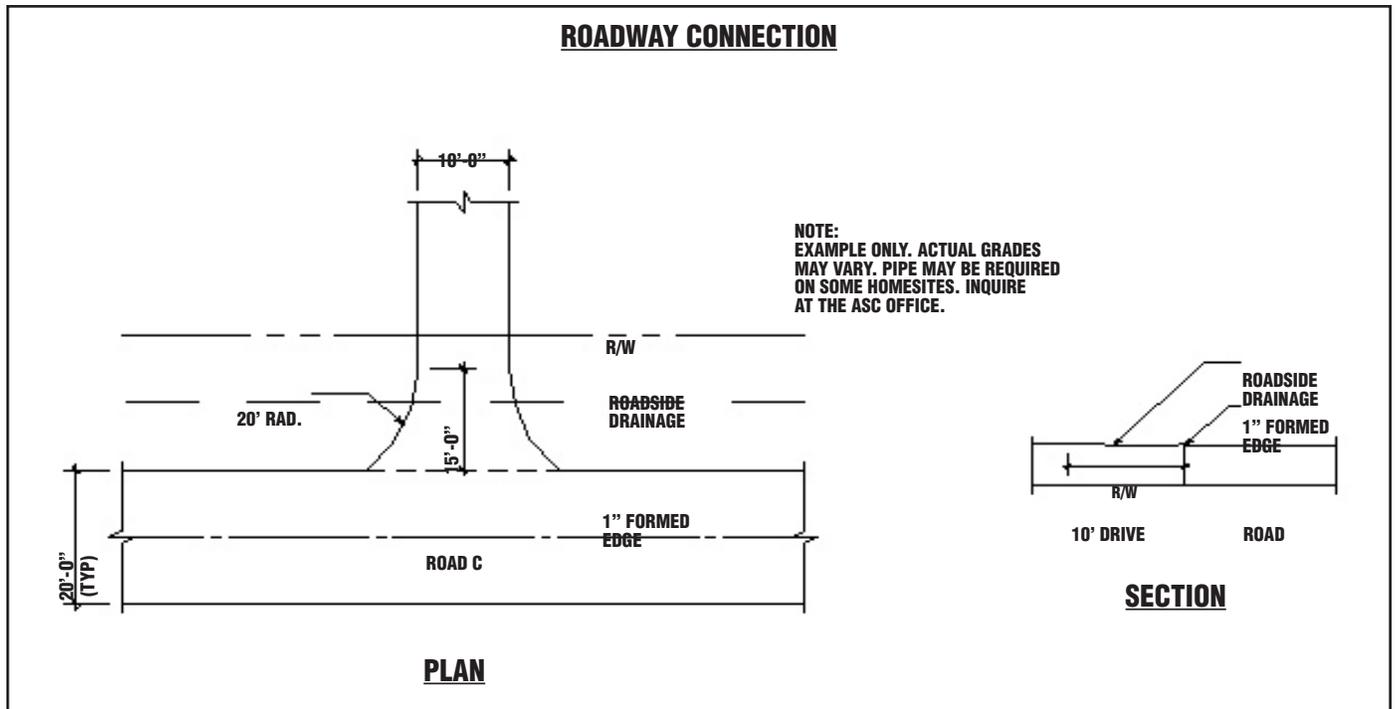


*Prior to the delivery of any construction material, it is strongly advised that the Contractor establish the future location of the driveway and stabilize it to receive delivery trucks. As noted in Section IV of these Design Standards, there are substantial fines and liabilities for damaging right of ways and adjacent properties.*

Driveways, turnarounds and guest parking areas shall be hard-surfaced and constructed of acceptable materials to include brick or concrete pavers, cobblestones, cast-in-place concrete, stamped concrete, poured concrete, or exposed aggregate. A concrete driveway may be enhanced by bordering and subdividing with other materials such as brick or concrete pavers, or cobblestones. This treatment would add detail and definition to the driveway. The driveway must provide adequate drainage provisions to accommodate a heavy downpour and incorporate a substantial apron at the road edge. Driveways shall be a minimum of 10 feet wide, and shall attempt not to mimic the property line, allowing room for landscaping and irrigation (minimum of three feet from property line). Guest or visitor parking area for at least two vehicles shall be provided and defined. **Asphalt driveways are not permitted.**

Walkways are required from the front door of the home to the driveway and must be a minimum width of 4 feet. Acceptable front walkway materials include: natural stone, brick or concrete pavers, cast-in-place concrete, concrete with an exposed material such as oyster shell or aggregate, or colored concrete, provided these are subdivided and bordered to counter their monolithic appearance. Walkways must be constructed according to the approved plan.

### 1.3 Driveway Connection *(See Diagram below, also shown on Page 54)*



The driveway connection to the street shall be made in strict accordance with the diagram shown above, noting that actual grades will vary. The driveway must be staked and Form # 5 (page 53) requesting Roadway Connection Inspection must be submitted and approved prior to commencing construction. Driveways shall stop at the edge of pavement with a 1" formed edge above the edge of pavement. Some driveways may require the installation of pipe and the ASC office will notify you if this condition applies to your homesite. The ASC may remove any driveway material which has extended into the street pavement and repair same, charging the cost to the Owner.

Homesites whose address is within a cul-de-sac but face the main road must have their curb cut within the cul-de-sac. Circular driveways will be considered on a case-by-case basis.

### 1.4 Exterior Appearance

Roof colors and textures and exterior wall materials should be compatible with the natural surroundings. No foil or other reflective materials shall be used on any windows for sunscreens, blinds, shades or other purposes. Interior window treatments visible from outside must be white or cream colored. No window mounted or wall-mounted heating or air conditioning units are permitted above ground level. All HVAC units shall be screened so as not to be visible. Except within screened service yards of sufficient height, outside clothes lines or other outside facilities for drying or airing clothes are specifically prohibited and shall not be erected, placed, or maintained, nor shall any clothing, rugs, or other items be hung on any screened porches, railings, fences, hedges or walls. Any exterior changes that deviate from the original approved plan must get the ASC approval. Failure to do so may result in the levy of a fine of \$150. per day until cured.

### 1.5 Exterior Lighting

A successful exterior lighting plan will enhance the beauty of your new home and is encouraged. The location, placement and direction of exterior lighting should enhance the landscape and residence and not infringe upon adjacent property owners. Path lighting must be no taller than 2' mounting height and is not to exceed 20 watts of incandescent output. All exterior lighting must

be designed in such a way as to not permit direct vision to the source of the light from beyond the property line of the homesite. In general, the use of exposed lamps, clear, smoked, or translucent globes and lenses or any other type of fixture which creates glare should not be used. Colored lights are prohibited. Cut sheets must be submitted for all exterior light fixtures proposed. Consideration should be given to providing a number of light sources illuminating entries, architectural features, and landscapes. The use of flood lights under the soffit areas of the house is permitted; however, the fixtures must be hooded to control the path of the light and prevent exposure of the lamp. All exterior lighting submittals required at time of landscape design submittals and must be approved by the ASC prior to installation.

## **1.6 Fences, Screens, Walls and Bulkheads**

**FENCES:** Fences shall not be used to delineate property lines. Fences shall not encroach into set back and not extend past the front wall of the house. Fences shall be of wood, brick, stone or other suitable material and must harmonize in character and color with the home. Likewise, gates and other features should be of compatible design and color. Four (4) feet is the maximum height allowed for any such constructed visual barrier; however, desirable views and vistas should not be blocked nor should adjacent Homesites be negatively impacted. No chain link or welded wire fencing shall be permitted on any homesite within the subdivision. Construction details and locations of all fences must have ASC approval prior to construction.

**SCREENS/SERVICE YARD:** Each Owner of a homesite shall provide visually screened areas to conceal from view of roads, adjacent properties, right of ways and golf courses, items such as garbage equipment, mechanical equipment, or any other objectionable site elements. Screens shall be of wood, brick, or other suitable material and must harmonize in character and color with the house. Six (6) feet is the maximum height allowed for any such utility screen; however, desirable views and vistas should not be blocked nor should adjacent Homesites be negatively impacted. Screens shall be used in limited lengths and only where appropriate. Lattice screening, chain link or welded wire screening shall not be permitted on any homesite within the subdivision. Construction details and locations of all screens must have ASC approval prior to construction.

**WALLS:** Walls shall be considered as design elements to enclose and define courtyards, motor courts, pools and other private spaces, provide security and relate building forms to the landscape. Walls shall be considered as an extension of the architecture of the residence and a transition of the architectural mass to the natural forms of the site. All walls shall be designed to be compatible with the total surrounding environment. Special consideration should be given to the design, placement, impact, maintenance, landscaping and views of both sides of the wall from neighboring Homesites. Desirable views and vistas should not be blocked nor should adjacent Homesites be negatively impacted. It is recommended that walls be constructed of solid masonry or wrought iron with columns, using the same materials as found in the architecture of the residence. Retaining walls connecting to the house must be faced with the finish of the residence's exterior walls. Construction details and locations of all walls must have ASC approval prior to construction.

**BULKHEADS:** Bulkheads will be constructed with pressure treated lumber and considered on a case- by- case basis.

## **1.7 Flood Requirements/Floor Elevations/Foundations**

All residential structures constructed on any homesite shall have as a minimum (FFE) first floor elevation the level of the 100 year flood, as designated on file with the Brunswick County Planning Commission.

Per the Brunswick County Planning Code: Sec. 1.4.70: All new construction and substantial improvements of residential structures shall have the lowest floor, including basement, elevated to the depth number specified on the flood insurance rate map, in feet, above the highest adjacent grade. If no depth number is specified, the lowest floor, including basement, shall be elevated at least **two (2) feet** above the base flood elevation.

All homes within Ocean Ridge Plantation® shall have a raised foundation with minimum 30” above grade. All homes constructed on Homesites 1-61 in Section 3, phase II shall be constructed on a raised foundations, to include a perimeter wall foundation and interior piers in the crawl space with footers constructed per local building code.

Homes constructed on Homesites 27,28,43,44 and 127 in Section 4 Phase II shall be constructed with the lowest floor at a minimum height of thirty-three (33) feet above Main Sea Level or the minimum requirement of the Brunswick County Building Code, whichever is greater.

## 1.8 Landscape and Irrigation

At Ocean Ridge Plantation®, landscaping is a most essential element of your home and should enhance its value. In successful landscape designs, elements of the landscape and home unite to form a habitat compatible with their environment. The advice of a Landscape Architect or Landscape Designer is required when preparing a landscape plan (See page 30 for plan submittal requirements), *and it is extremely important that your landscape designer consult with the ASC to determine whether any extreme site conditions particular to your homesite may exist which must be addressed to create positive drainage patterns necessary for the survival of your installed landscape.* Your plan should address the entire homesite, extending to the edges of pavement and other property lines. The actual level of landscaping and cost will also depend on,

1. The amount of existing vegetation remaining after your homesite is developed. and
2. The neighborhood(s) you are building in. Custom Home Neighborhoods require your budget to equal a minimum of 5% of the total construction budget. (e.g. \$400,000 = \$20,000 landscape cost)

Estate Neighborhoods, Phase I, Section 3, Homesites 26-29, Phase II, Section 4, Homesites 188-222 and Phase IV, Section 1,2,3,4 and 5 require larger container sizes and a minimum number of plants. Phase IV will also require a landscape plan, completed by a registered landscape architect, be submitted for all homes to be constructed in Stirling Hills and Annesbrook.

Annuals and perennials may be used to enhance your permanent landscape design, but are not considered *permanent* landscape. Raised beds should be incorporated into your landscape plan. Care should be given in the selection of plants for hardiness, eventual size, resistance to shade/sun, and drought tolerance. Shrub plantings should be massed in groupings, with taller, course textured plants massed behind lower, finer textured plants. Mulching with pine straw or other approved organic mulch is required for all planted areas, providing a smooth transition to the existing natural vegetation. At least 5 trees are required to be planted on each homesite, each a minimum of 10’ in height. On wooded Homesites the majority of the trees planted should be ornamental and on open Homesites the majority should be shade trees. Areas to remain natural should be kept mowed and maintained. Dead material and weeds must be removed from natural areas and approved mulch installed in disturbed areas. All trees to be preserved should be left undisturbed from the trunk outward to the drip line of the canopy. Lawn areas must be installed with *Centipede sod*, be sufficiently irrigated through *underground irrigation systems*, and consist of at least 25% of the remaining pervious area. Sodding to the street and to the water’s edge of ponds and lakes is required. **Planting beds must not encroach within 15’ of these pond and lake banks in order to provide access for maintenance equipment.** Some Homesites are beside Ocean Ridge 15’ easements.

Sodding and planting is permissible with the understanding that it will be the homeowners expense to replace if Ocean Ridge has to use these easements during emergency times.

Plantings around utility boxes are required and proposals should be included on the submitted landscape design. Plantings around mailboxes are encouraged and should also be included on the submitted plan. All landscaping of Homesites and dwellings must be completed on or before twelve (12) months after commencement of construction, or the Association may exercise it's self-help to cure violations as granted by the Declaration in Article IV, Sec 4.4, and install the landscape and irrigation according to the approved plan, assessing the homeowner for all costs incurred. (See Form #8, page 57 for Landscape & Irrigation Inspection requirements).

**Your Landscape and Irrigation Plan *should* be submitted as part of your Final Design Review submittal; however, it must be submitted prior to requesting your Dry In Inspection.**

### **1.9 Mailboxes, Newspaper Receptacles & House Numbers**

One mailbox per dwelling is required. In order to maintain consistency throughout the Plantation®, all mailboxes will be built and installed by the ASC. The boxes will include a newspaper receptacle, and appropriate street address numbers to meet Brunswick County specifications. A check for \$225 for a galvanized box must be submitted along with your Final Design Review submittal. Submit the Mailbox Installation Request Form #6 (page 55) *allowing 14 days for installation prior to taking occupancy of your home.* Homeowners will bear the cost required in repairs and maintenance to keep their mailboxes in first class condition. ORMA, through the Property Maintenance Committee, will supervise the mailbox maintenance. Homeowner names may not be placed on mailboxes. Covers for the mailbox are not permitted. If house numbers are desired, contact the ASC office for approved style.

### **1.10 Play Equipment and Gazebos**

Children's play equipment must be restricted to within the building envelopes so as not to obstruct neighbors' views. Play equipment must be constructed of wood with a natural finish that will blend with the natural surroundings. ASC approval is required.

### **1.11 Pools, Therapy Pools and Spas**

The size, shape and siting of pools must be carefully designed to achieve a feeling of compatibility with the surrounding natural and man-made environment. Pool decks may encroach into the setback area if site conditions allow and will be evaluated on a case- by- case basis by the ASC. No encroachment is permitted into a golf course easement. Pool and equipment enclosures must be architecturally related to the residence. Enclosures shall be of wood, brick, stone or other suitable material. Pool and equipment must be screened and harmonize in character and color with the home. Pool and equipment must not infringe on adjoining property owners because of noise or view and must comply with county and PUD standards. If considering a pool, one should site the house with the minimum front setback allowed to accommodate future plans. No above ground pools or inflatable bubble covers are allowed.

### **1.12 Set-Backs**

Coastal Communities establishes the building envelope and set backs for each lot.

**Roof drip lines must be within the set back building envelope. Recorded lot plats with set backs are available at the Ocean Ridge Plantation® Sales Center.**

## 1.13 Signs

1. As provided in the Master Declaration of Covenants, Conditions and Restrictions for *Ocean Ridge Plantation*<sup>®</sup> (“Master Declaration”), and except as may be required by legal proceedings, no signs or advertising posters of any kind shall be maintained or permitted within any windows, or on any “Unit” (as defined in the Master Declaration) without the express written approval of the Architectural Standards Committee (“ASC”).
2. The ASC requires one temporary construction site identification sign during construction displaying the Phase, Section & Lot #, Street Address, and Brunswick County building permit sign. This sign must be approved by the ASC and constructed according to the requirements of the ASC. This sign must be one-sided and must be installed on the front property line, parallel to the street at a location designated by the ASC. The names of contractors or subcontractors are not permitted on this temporary construction site identification sign or on the Unit. The back of this temporary construction site identification sign shall accommodate the attachment of a “permit inspection box” in which any required permits may be displayed. Kelley’s Signs, 7169 Ocean Highway, Sunset Beach, NC 28468, PH # (910) 579-1167 should be contacted to order a temporary construction site identification sign. The approved temporary construction site identification sign may be installed after the Final Design Review approval has been received and shall be removed immediately after receiving the required Occupancy Inspection approval by the ASC. No sign or permit may be nailed to a tree. Any person or entity having ownership or control of an approved sign shall be responsible for maintaining said sign in good physical condition.
3. The ASC will allow the placement of a maximum of two (2) signs indicating a security system within an *Ocean Ridge Plantation*<sup>®</sup> residence. *Ocean Ridge Plantation*<sup>®</sup> resident may obtain up to a maximum of two (2) signs from the *Ocean Ridge*<sup>SM</sup> Master Association (“ORMA”) at a price of \$4.00 each, which will cover ORMA’s direct cost. The sign(s) placement will be limited to a maximum of one (1) in the front and one (1) in the rear of the residence (the use of a rear sign is optional). The sign(s) are to be placed in a location that is intended to be primarily visible to foot traffic approaching the residence’s entry and shall be installed within a landscaped bed immediately adjacent to the entry. The sign(s) shall be made available only to *Ocean Ridge Plantation*<sup>®</sup> residents who have indicated the existence of a security system. The ASC, in its sole discretion, reserves the right to approve the placement of any sign. All other aspects governing these signs shall be subject to the provisions outlined hereinafter.

### **The ASC may impose a monetary fine of up to \$1,000 for a violation of the Design Standards regarding signage.**

Signage on a contractor’s trailer is not permitted. Contractors will have to request permission in writing to temporarily place a trailer on a construction site. Must give size, color (no text messages) and estimated limited duration on site.

Another form of signage is the exterior insulation. All exterior insulation, with advertising messages other than manufacturer’s name, is not permitted.

4. Displaying any sign or advertising poster in violation of the Residential Design Standards (“RDS”), shall be considered a violation of the Design Standards and the Master Declaration. Sanctions for violations may include monetary fines, which may be assessed as specific assessments, and suspension of the right to use any recreational facility. The ACS may also seek a legal remedy for violations, including seeking injunctive relief, enforcing its legal right to enter the property and remove the violation, and taking any other action authorized by the Master Declaration or by law to remedy a violation.
5. Written notice of any violation and a request to comply with the ACS and the Design Standards shall be served on the Owner of the property where the unauthorized sign is located. The date of

service of such notice will be (i) the date such notice is personally delivered or sent by facsimile transmission (with issuance by the transmitting machine as a confirmation of successful transmission); (ii) three days after the date of mailing if sent by certified or registered mail; or (iii) one day after date of delivery to the overnight courier if sent by overnight courier. The Owner shall remedy the violation within a reasonable time, but no more than ten (10) days from the date of service of notice of the violation.

6. Should the Owner fail to remedy the violation by the deadline for such action, the Owner shall be assessed a fine of \$500.00 for the first day after the deadline, plus \$25.00 per day for each day thereafter, until said violation is removed. Any fines and/or costs incurred in connection with any violation of this section may be assessed against the responsible Owner and collected as a Specific Assessment in accordance with the Master Declaration.
7. In the event of subsequent violations within one (1) year of the date of service of notice for a previous violation by the same Owner, the provisions of subsection 5 above shall apply, except that the Owner will be assessed the fines set out in subsection 6 above beginning on the day the unauthorized sign was first displayed.
8. As provided in the Master Declaration, this Section 1.13 shall not apply to any activity conducted by the Declarant (as defined in the Master Declaration) with respect to the development and sale of the property at *Ocean Ridge Plantation*<sup>®</sup> or any commercial activities of the Declarant. The Association has been notified by the Declarant that, until further notice, the Declarant does not intend to display advertising signs or posters, with respect to the sale of properties, within the residential neighborhoods of *Ocean Ridge Plantation*<sup>®</sup>.

#### **1.14 Specimen Trees**

It is the intent of the Declarant to protect specimen trees in order to preserve and enhance the natural beauty of the planned community. Specimen trees outside the footprint of the home are to be preserved.

1. It is required that any live oaks or other specimen trees 6" DBH (diameter at breast height, approx. (5) feet high be indicated on your Site Development Plan. Specimen trees, as **may be designated by the ASC** during the Site Layout Inspection, such as live oaks, hollies, dogwoods, hardwoods, well-formed long-leaf pines, etc., must be protected from damage.
2. Construction barriers must be erected and maintained around each specimen tree's drip line as may be designated by the ASC.
3. Excavations and installation of underground utilities will be performed in such a manner as to avoid damaging the root system of specimen trees.
4. If, in the judgment of the ASC, a specimen tree is damaged or destroyed due to carelessness or avoidable activities on the part of the Owner or Contractor, the ASC will require the replacement of the tree with a new specimen tree and impose **a fine of \$1,000 per tree. These specimen trees must be protected.**

#### **1.15 Statuary, Landscape and House Ornaments**

All statuary, landscape and house ornaments such as fountains, bird houses, flags, trellis, swings, etc. **may not be permitted in the front yard** with the exception of a United States Stars and Stripes Flag, mounted on a pole affixed to the house or on a pole in the yard. Flagpole colors must be natural or anodized aluminum, in good condition and to a scale appropriate to the house. Flag shall also be in good condition. For ground set pole, pole height shall not exceed fifteen (15) feet. Flag size shall not exceed three (3) by (5) feet. For outrigger poles, maximum pole length shall be eight (8) feet: Flag shall not exceed three (3) by five (5) feet. The location of a United States Stars and Stripes Flag on a home or a homesite must be approved by the ASC. Not all homesites may be accommodated and proposals will be considered on a case-by-case basis. In the rear yard, statuary,

landscape and house ornaments should be an integral part and harmonize with the overall landscape plan of the home, should not block desirable views and vistas nor negatively impact adjacent Homesites, should maintain high design standards and be aesthetically pleasing, should incorporate natural finishes and blend with and enhance the natural surroundings. If statuary, landscape and house ornaments are not indicated on approved plans, any requests or subsequent proposals must be submitted by using the Design Change Application (page 47), along with a check for \$300 for design change. **No installation may occur without ASC approval. Seasonal ornaments will be accepted as long as they are placed and removed within 2 (two) weeks of the specific holiday.**

### **1.16 Storage Buildings and Construction Trailers**

No detached accessory buildings are allowed, (i.e. storage buildings, workshops etc.) Per the Declaration, the open storage of boats, trailers, RV's, campers and other vehicular-type equipment is not permitted.

Construction trailers are allowed for the duration of construction. Must be parked on the construction site or a site the contractor has received permission to use during construction.

### **1.17 Street Islands**

To enhance the community streetscape, landscape islands and road easements have been developed and are maintained by the Ocean Ridge Master Association.

### **1.18 Street/Right of Way Repair**

The property owner is responsible for maintaining the right of way and edge of the street adjacent to his property during construction. The owner is to repair any damage by matching the existing material. If the street damage is not repaired by the time of occupancy, the ACS may effect repairs and charge the cost of the repairs to the Owner. No alteration to street drainage is permitted.

### **1.19 Tennis Courts**

Tennis courts are not allowed.

### **1.20 Utilities**

All utility conduits, cables, pipes, propane or any other type tank, etc. must be underground. Your Contractor is required to install the underground power cable, waterline, and gravity waste water line from the dwelling to the respective meters. Satellite dishes, solar collectors or other utility structures will be considered by the ASC on a case-by-case basis. Any approved utility structure must be screened from view.

### **1.21 Waste Water Hookup**

It is required that each homeowner utilizes the central waste water treatment system at Ocean Ridge Plantation®. Proceed as follows:

1. **Call the ASC office** during the planning stages of construction requesting a site visit by an Ocean Ridge representative to flag the future location for installation of the wastewater pump tank. NOTE: The water tap must be placed on the corner of the property ***opposite the wastewater pump tank***. Also, knowing the location of the pump tank will aid your plumber in stubbing out for the gravity waste water line on the correct side of the home. There is currently a **4-6 week lead time** required by the Brunswick County Utilities Dept., [(910) 253-2655] for installation of a water tap. Keep this in mind as your construction schedule is developed. You may need to apply for your water tap prior to beginning the ASC review process so that once you have been granted ASC Final Design approval, you will have water available to your property.

2. **Two weeks prior to scheduling your plumber for trim-out**, submit Form #4 (page 51), requesting installation of the waste water pump tank. With Form #4 you are required to submit your check for waste water connection fees in the amount of **\$3,900, payable to Ocean Ridge Properties, Inc.** Changes from the basic pump will have a higher cost and can't be quoted until ordered. Please let the ASC Administrator know in advance if a deep tank is needed. These fees include waste water tap fee, installation of the waste water pump tank and installation and wiring of the electrical control panel. After the above fees are paid, the installation of the waste water pump tank will be scheduled. *(Allow at least 10 working days.)*
3. **After the waste water pump tank is set**, it is the Contractor's responsibility to install the gravity waste water line from the house to the waste water pump tank and perform the supervised connection. Call the ASC office to schedule supervision of the connection. *(This connection must be performed under the strict supervision of an Ocean Ridge Representative and in strict accordance with the Connection Diagram provided on page 52. No connection will be approved unless adherence to this request is followed.)*
4. **To finalize the connection procedures**, the ASC will schedule the installation and wiring of the waste water pump tank electrical control panel. This procedure will be performed by Ocean Ridge Properties, Inc. and is included in the connection fees.

## 1.22 Water Run-Off Requirements

1. Under the rules and regulations of the N.C. Division of Environmental Management, water run off must be controlled on the Owner's property so that problems are not created for any other property. Site design must be in harmony with the storm water plans of Ocean Ridge Plantation®.
2. Site design must direct water run off into either Ocean Ridge Plantation® retention areas utilizing existing drainage patterns, or retain the water run off on site. To accomplish this the landscape contractor can run drain lines toward the street or individual catch basins can be installed on the property. Gutters on houses are another way to control water run-off. **All homes built within Phase 2, Section 3 will be required to have gutters.**
3. The ASC may require the Owner to have a qualified Engineer provide the site design at the Owner's expense if unusual circumstances exist.
4. To promote positive drainage for all homes built on a raised foundation the crawl space sub grades shall be raised to a minimum of 12 inches above the finished exterior sub-grade.
5. Water problems created by a home not complying with these requirements will be corrected at the Owner's expense.

Contractors and owners need to understand that positive drainage is a must. Water run off from pre-construction until the final phase will be monitored closely. Vacant Homesites on either side of a home being built should not be expected to take the run off. Prepare now for other construction and there should be no problem.

## SECTION II: BUILDING DESIGN STANDARDS.

The ASC requires that a certified residential design professional or a registered architect, design and prepare construction drawings and specifications for residences built in Ocean Ridge Plantation®. This helps assure the ASC of a high level of competency in the preparation of the drawings that will be reviewed, as well as a thorough understanding of, and compliance with, these Design Standards. Be advised that additional regulations and building codes will apply to new construction and your design professional should be familiar with these. All new construction must comply with the North Carolina Building Code. New homes shall be designed to fit within all designated setbacks with minimal impact upon existing vegetation and trees. The home shall be designed to take maximum advantage of existing views and topography and

not encroach on views from adjacent Homesites. The ASC further requires that your residential design professional visit the homesite to best take advantage of unique homesite characteristics and existing topography. **A style that is influenced strongly by the traditional and classical forms of Coastal Carolina residences is encouraged. No home design, detailing or components that now exists at Ocean Ridge Plantation® shall be used as a standard or precedent for a proposed residence.**

**2.1 Building Size** (Single family detached homes on separately platted Homesites)

Minimum heated living area, exclusive of garages:

Brookshire Place . . . . .	1700 Square Feet
Abbingtion Place/Dartmoor Forest, Section 1 . . . . .	1800 Square Feet
Ground floor of two story structure . . . . .	1300 Square Feet
Windsor Forest. . . . .	2000 Square Feet
Ground floor of two story structure . . . . .	1400 Square Feet
Oxford Estates, Phase I, Section 3 (Homesites 26 to 29) . . . . .	2800 Square Feet
Dartmoor Forest, Phase II, Section 1 . . . . .	1800 Square Feet
Dartmoor Forest, Phase II, Section 2 . . . . .	2000 Square Feet
Dartmoor-On-Avon, Phase II, Section 3 . . . . .	1800 Square Feet
Dartmoor Forest, Phase II, Section 4 (Homesites 1 to 153 and 169 to 187). . . . .	2000 Square Feet
Waterstone Crossing, Phase III, Section 1 (Homesites 1 to 25) . . . . .	2500 Square Feet
Westchester Estates, Phase II, Section 4 (Homesites 188 to 222) . . . . .	2500 Square Feet
Stirling Hills, Phase IV, Section 1 (Homesites 2 to 77) . . . . .	2500 Square Feet
Stirling Hills, Phase IV, Section 2 (Homesites 1 to 43) . . . . .	2500 Square Feet
Annesbrook, Phase IV, Section 3 (Homesites 1 to 87) . . . . .	2500 Square Feet
Stirling Hills, Phase IV, Section 4-A (Homesites 1 to 47) . . . . .	2500 Square Feet
Stirling Hills, Phase IV, Section 4-B (Homesites 48 to 76) . . . . .	2500 Square Feet
Summer Hill Glen, Phase IV, Section 6-A, 6-B (Homesites....) . . . . .	1800 Square Feet
Cambridge Estate, Phase IV, Section 5 (Homesites....) . . . . .	2500 Square Feet

**Phase I, Section 3, Homesites 26, 27, 28 and 29**

The purchasers of the above referenced property hereby acknowledge, agree and understand that in consideration of the 2800 heated square feet minimum home size in this section of “Oxford Estates” the Ocean Ridge Plantation® Architectural Standards Committee (“ORP/ASC”) shall require the home and landscape designs for Phase I, Section 3, Homesites 26 to 29 to be of a very high quality. Construction drawings are required to depict a higher level of detail and architectural design on all elevations. The requirements for all drawings are determined solely by the “ORP/ASC”. To maintain the very high quality of design, you are required to obtain the services of a currently registered architect or a residential designer certified in accordance with the National Council of Building Designer Certification (NCBDC) program or

an equal as determined by the ASC.

- Phase IV, Section 1, Homesites 2 to 77
- Phase IV, Section 2, Homesites 1 to 43
- Phase IV, Section 3, Homesites 1 to 87
- Phase IV, Section 4-A, Homesites 1 to 47
- Phase IV, Section 4-B, Homesites 48 to 62 and
- Phase II, Section 4, Homesites 188 to 222

The purchasers of the above referenced property hereby acknowledge, agree and understand that in consideration of the 2500 heated square feet minimum home size in “Westchester Estates”, “Stirling Hills, Sections 1, 2, 4-A and 4-B” and “Annesbrook, Section 3” the Ocean Ridge Plantation® Architectural Standards Committee (“ORP/ASC”) shall require the home and landscape designs for Phase II, Section 4, Homesites 188-222 and Phase IV, Sections 1, 2, 3, 4-A and 4-B to be of a very high quality. Construction drawings are required to depict a higher level of detail and architectural design on all elevations. The requirements for all drawings are determined solely by the “ORP/ASC”.

### Phase III, Section 1, Homesites 1 to 25

The parties to this Agreement hereby agree and understand that in consideration of the 2,500 heated square feet minimum home size in Phase III, Section 1, Homesites 1 to 25 the ORP/ASC may require that the home and landscape designs for Phase III, Section 1, Homesites 1 to 25 be of a higher quality than is required in Phases I and II of *Ocean Ridge Plantation*®; and construction drawings may be required to depict a higher level of detail on all elevations. The aforementioned is determined solely by the ORP/ASC.

#### 2.2 Chimneys

Flue pipes shall be encased in a chimney enclosure. **On brick, stone or stucco homes, the chimney must be brick, stone or stucco, respectively.** On wood siding homes, the chimney may match the foundation or pillars, or be wooden if the design is submitted and approved by the ASC. All chimneys shall terminate in a decorative cap that shields the spark arrestor from view.



#### 2.3 Decks, Patios and Terraces

Decks, patios and terraces shall be considered an extension of the architecture of the residence and a transition of the architectural mass to the natural forms of the site. Decks, patios and terraces shall be placed on side and rear elevations only. Decks must be stained or painted. The underside of decks may be enclosed with materials that are consistent with the foundation of the house. Louver panels or all brick (not piers and louver panels or lattice panels between brick piers) are strongly encouraged for high detailing. Patio and terrace floor finish materials shall be brick, stone, or masonry. If patio or terrace is framed within, and supported by terrace walls, those walls shall match or shall be compatible with exterior materials and detailing of the residence. Construction details and locations of all decks, patios, terraces and terrace walls must have ASC approval prior to construction. Masonry patios on grade can extend into the rear set back but shall not exceed 225 sq. ft.

#### 2.4 Entry

Porches or porticos are required on the front elevation of all new homes with sufficient detailing to identify them as the main component, focal point and primary entry of the residence. Entry doors must be emphasized with architectural detail trim, sidelights, or transoms. Any columns should be fully detailed in the submitted drawings.



YES

DOMINANT FEATURE IS THE PORTICO FLANKED BY GABLES WITH WINDOWS CONSISTENT IN TYPE AND SHAPE. SIMPLE DETAILS ADD CHARACTER TO THE DESIGN.



YES

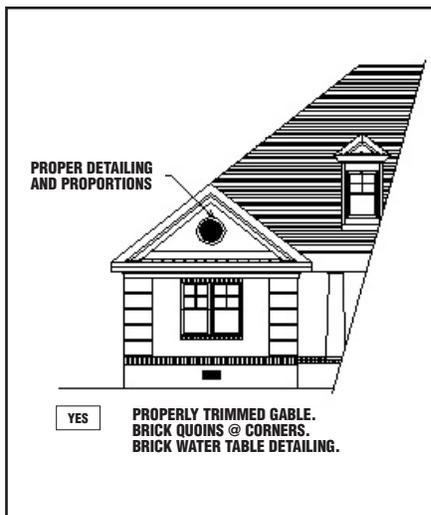
WELL-PROPORTIONED GABLE DETAILS AT FACADE ADD BALANCE AND SHUTTERS ARE SIZED TO FIT WINDOWS. ENTRY DOOR PORTICO IS DOMINANT AND DOOR HAS TRANSOMS AND SIDELITES.

## 2.5 Exterior Elevations

Equal design consideration shall be given to front, side and rear elevations, including consistency in window and roof character, and consistency in design elements such as banding, quoins, accents, trim work, and belt courses. Obtrusive or inappropriate colors and materials, which would draw undue attention to specific buildings, are not allowed. All homes built

with crawl space shall have a water table detail to define the first floor line, unless not in keeping with the architectural style. Side elevations should reflect architectural interest in their design. *Straight, elongated side elevations with no insets or outsets are only permitted in courtyard home neighborhoods.*

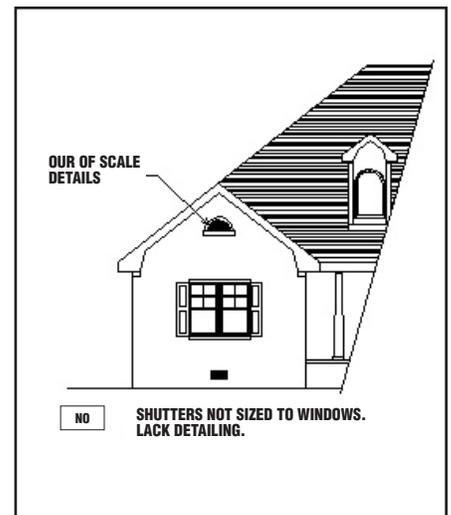
***Blank Walls:** all exterior elevations shall have windows placed to minimize blank expansion of walls. In absence of a window on an exterior wall, you may substitute an architectural brick detailing.*



PROPER DETAILING AND PROPORTIONS

YES

PROPERLY TRIMMED GABLE. BRICK QUOINS @ CORNERS. BRICK WATER TABLE DETAILING.

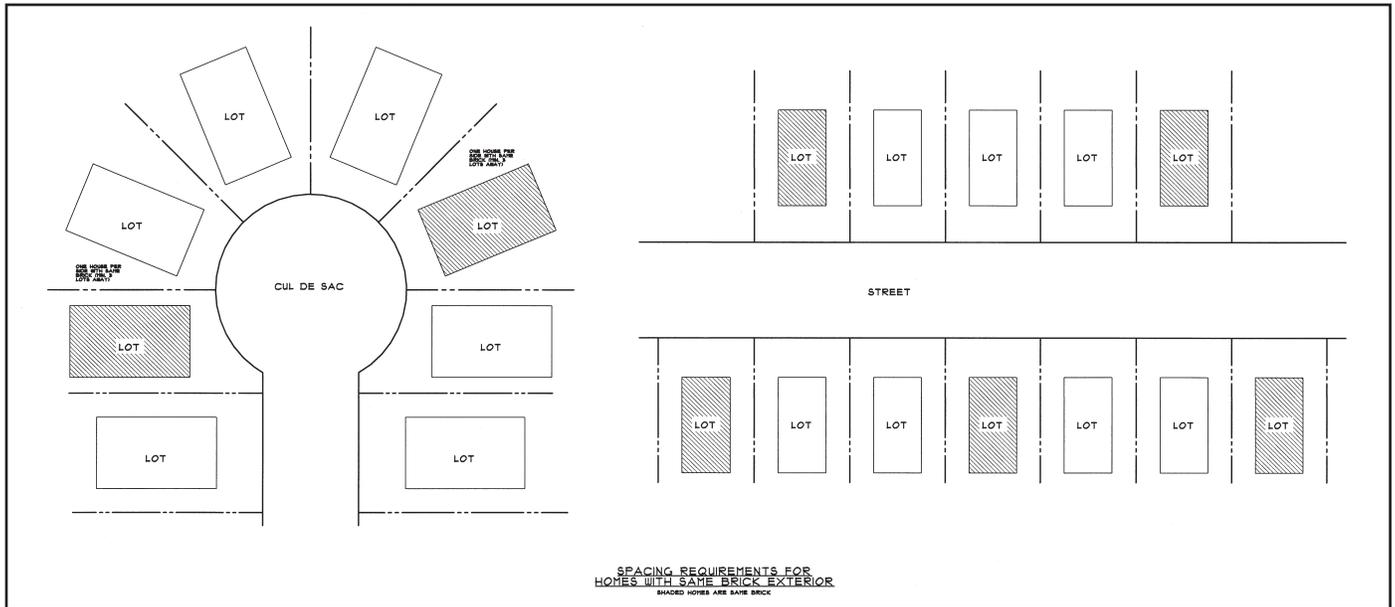


OUT OF SCALE DETAILS

NO

SHUTTERS NOT SIZED TO WINDOWS. LACK DETAILING.

*Brick:* In keeping with the tradition, ASC does not allow the same brick to be used on adjacent homes, homes in cul-de-sac or across the road. The rule of thumb is 2 houses away.



## 2.6 Garages

A minimum 2-car side entry garage is required, with overhead door(s) and automatic opener(s).

**Front loaded garages are not permitted**, unless the site plan can show severe and substantial hardship. If a hardship is determined and a front entry is allowed, then in order to minimize the presence of a front load, the front plane of the front loaded garage has to be set back from the plane of the main portion of the front elevation a minimum of seven (7) feet. All garage doors must be paneled and reflect the architectural trim detail compatible with the building design. Individual garage doors for each automobile are encouraged. Garages for more than two automobiles shall be properly scaled to the benefit of the building design. Please indicate the intended garage door material, color and finish on the building elevations and on the “Material Information & Color Samples” section of the Final Design Review submittal.

Stirling Hills, Phase IV, Sections 1, 2 & 4, Annesbrook, Phase IV, Section 3, and Cambridge Estates, Phase IV, Section 5: front loading garages will not be allowed in these sections for any reason.

## 2.7 Gutters

Gutters shall match the fascia trim color or be copper. Downspouts shall be placed where less visible from the street and match the exterior wall trim in color or shall be copper. Gutter placement needs to be approved by the ASC. Homes built in Phase 2, Section 3 will incorporate gutters on all homes constructed on Homesites 1 to 61.

## 2.8 Porches

Open and screened porches are encouraged and can provide inside/outside transitions. Screened porches shall be placed on the side and rear elevations only. All screening shall be charcoal or bronze or other approved color. Mill finish aluminum is not permitted. The underside of porches may be enclosed with materials that are consistent with the foundation of the house. Brick, pressure treated 1x4 lattice or pressure treated wood louvers will add more detailing to the house. No diagonal lattice will be allowed. Construction details and location of all porches must have ASC approval.

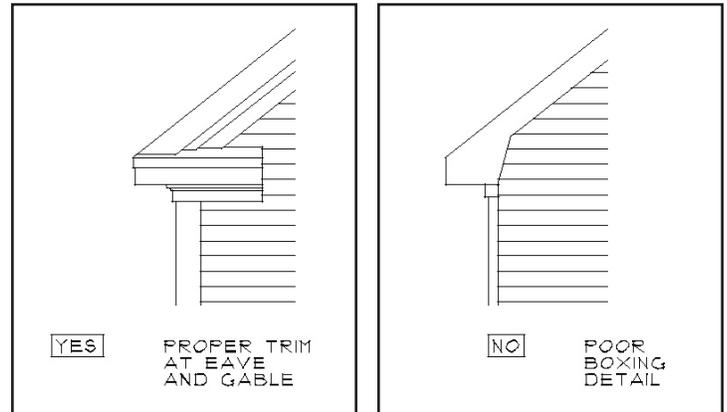
In the event you wish to change your screened porch into a sunroom, a design change form must be submitted with actual materials and colors to be used. Windows must be consistent as not to change the exterior appearance. A check for \$300 made payable to Coastal Communities@ORP must be submitted with the design change form.

## 2.9 Railings

Exterior railings shall be of the highest quality material available, compatible with the design of the residence have a top and bottom rail and the pickets shall terminate at the bottom rail.

## 2.10 Roofs

Roof forms should be well organized and demonstrate the same character on all sides of the residence. Main roofs shall be consistent with the architectural style of the residence. Main roofs shall be hipped, gabled or a combination. Gable vents shall have trim details consistent with other trim details. Eaves and rakes should be articulated by **multiple** fascia boards, friezes, cove and crown moldings. Roof pitch and overhang may vary in slope and dimension , however, no flat roofs are permitted unless they are accessible from an adjacent enclosed space. The minimum roof slope is 9 in 12, unless otherwise approved by the ASC. The maximum height of any new residence shall not be higher than 48' as measured from the virgin site low point to the top of the roof ridge. Asphalt roof shingles shall be a minimum 25- year warranty, “dimensional” architectural composition asphalt type. Metal, slate, cedar, terra cotta or concrete tile roofing is also permitted roof finish. All bay windows extruding from an exterior wall shall have copper or approved metal roofs. Roof penetrations should be located on the sides of the roof least exposed to the street or golf course. **All roof penetrations such as attic and plumbing vents should be painted to blend with the roof color.** (Chimneys are covered in paragraph 2.2).



Roof forms should be well organized and demonstrate the same character on all sides of the residence. Main roofs shall be consistent with the architectural style of the residence. Main roofs shall be hipped, gabled or a combination. Gable vents shall have trim details consistent with other trim details. Eaves and rakes should be articulated by **multiple** fascia boards, friezes, cove and crown moldings. Roof pitch and overhang may vary in slope and dimension , however, no flat roofs are permitted unless they are accessible from an adjacent enclosed space. The minimum roof slope is 9 in 12, unless otherwise approved by the ASC. The maximum height of any new residence shall not be higher than 48' as measured from the virgin site low point to the top of the roof ridge. Asphalt roof shingles shall be a minimum 25- year warranty, “dimensional” architectural composition asphalt type. Metal, slate, cedar, terra cotta or concrete tile roofing is also permitted roof finish. All bay windows extruding from an exterior wall shall have copper or approved metal roofs. Roof penetrations should be located on the sides of the roof least exposed to the street or golf course. **All roof penetrations such as attic and plumbing vents should be painted to blend with the roof color.** (Chimneys are covered in paragraph 2.2).

## 2.11 Siding/Brick

Clapboard siding shall be horizontal with a maximum of 10” to the weather. Boards with more than 8” exposure shall show a 1” variation from one board to the next. Shingle siding shall be horizontal with a maximum of 8” to the weather. The main house may use brick, stucco, stone or cedar siding exclusively or in a combination that creates a high quality design **consistent on all elevations**. Alternate sidings will be considered on a case-by-case basis. High quality vinyl/aluminum with a matte finish is permitted on fascia and soffit. Foundations on houses with siding must be accented with brick, stucco or other acceptable material. Brick homes shall have brick detailing above and below windows and doors, to include the garage door, and quoins on each corner unless not in keeping with the architectural style. Brick homes will be required to use oversized tumbled brick.

## Wood/Hardiplank Standards

In our continued efforts to maintain the character of Ocean Ridge Plantation® as envisioned by the Declarant, the ASC is advising all Homebuilders and Residential Designers that with reference to the construction of homes using wood or cement fiber board products, the Design Standards will require that the following standards are maintained:

1. Trim around doors and windows shall be a minimum of 4” with the incorporation of back band detailing.
  2. A minimum of 8” corner boards are required
  3. A minimum of 10” skirt boards are required.
- Cornices and multiple detailing are most desired; however, the items previously mentioned are required minimum details.

## 2.12 Shutters

**All shutters should be sized to fit the windows they serve.** Shutters sized to the window they serve shall be used on single and double units only. Shutters must be consistent with the architectural design of the residence.

## 2.13 Windows

Windows and doors should reflect restraint in the number of types, styles and sizes. All openings should be articulated with the use of flat or arched lintels, projecting sills or surrounds. High quality wood or clad vinyl windows are required, and must be consistent with the architecture of the house. Mill-finished aluminum is not permitted. **Wood and stucco sided homes shall have a minimum 1 x 4 window trim.**

All homes front and side elevations are required to have grids. The rear elevation of homes on golf course and pond lots can be altered for a better view, but must carry the grid theme through transoms and windows. Remember windows have to be consistent.

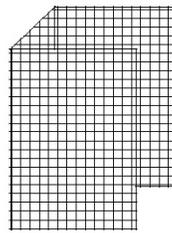
## SECTION III: GENERAL RULES FOR CONTRACTORS

- 3.1 All deliveries must be validated by the truck driver showing the security officer the delivery ticket with the homesite and street address of the job site.
- 3.2 The hours allowed for construction activity will be from 7:00 am to Dusk, Monday thru Friday, and 8:00 am to 5:00 pm on Saturday. No construction activity is allowed on Sundays or holidays. (listed below)
 

New Years Day	Labor Day
Memorial Day	Thanksgiving Day
July 4th	Christmas Day
- 3.3 Only bonafide workers are allowed on the property. Spouses and family members may drive workers to the job site and pick them up, but may not remain on the property unless they are employees of the Contractor. No worker’s pets are allowed on site.
- 3.4 Contractors are required to keep the construction site in a neat manner, including the long- term storage of materials. All sites are required to have a commercial (roll-off) dumpster container for trash and debris disposal. All debris and normal refuse created by the construction process will be properly disposed of in trash containers/dumpster and dumpsters are to be emptied when full, prior to overflowing. If trash and debris becomes a noticeable problem, the ASC will notify the responsible party to clean up the site within three (3) working days. If this notice does not bring results, The ASC may remove the debris at the Contractors expense and a fine may be imposed. The use of adjacent properties for parking, access or storage of materials or debris without written permission of the property owner is prohibited and fines may be imposed.

**3.5** Contractors will use only the utilities provided at the site on which they are working.

**3.6** Screened portable toilets must be provided on site during construction. All workers are required to use them. They are to be located on the homesite, not on the right of way, in an inconspicuous location with the door facing the house. Facilities must be enclosed on three sides by a natural lattice blind. Facilities may not be placed on site prior to site clearing, and must be moved promptly upon approved Occupancy Inspection.



PORTABLE  
TOILET  
ENCLOSURE

**3.7** If possible, vehicles are to be parked on the site on which the contractor is working. No vehicles, (trucks, cars, vans, etc.) may be left in the development overnight. Construction equipment may be left on the site while needed, but must be kept off of the street. At no time should a vehicle park on the grass shoulders, the curbing or on surrounding homesites unless written permission has been given from homeowner of adjacent homesite or the ASC. No right of way parking unless written permission has been given from ASC.

**3.8** Washing of any truck or vehicle on the street is not permitted. Any washing of concrete delivery trucks must be on the construction site.

**3.9** Spills of any hazardous material must be cleaned up by the Contractor. (Please report spills immediately to the ASC office). Clean up performed by ASC personnel will be charged to the responsible party.

**3.10** It is the obligation of the responsible party to IMMEDIATELY report to security or ASC office any cutting of water, telephone, cable TV, electrical or utility lines. Damage to streets, curbs, drainage inlets, street lighting, street markers, walls or other Declarant or ASC property will be repaired by the ASC at the responsible party's expense.

**3.11** Contractors doing work on or adjacent to the golf course must have a full-time golf employee show them the proper paths of ingress and egress. Access across the golf course is prohibited.

**3.12** Loud radios or noise will not be allowed within the community. Normal radio levels are acceptable. Do not mount speakers on vehicles or outside of homes.

**3.13** Fires are not allowed on the building site at any time. Burning in barrels or any other devices is strictly prohibited.

**3.14** Fishing by Contractors, sub-contractors and their employees is not permitted in any of the ponds at Ocean Ridge Plantation®.

**3.15** Contractors, employees and sub-contractors are required to wear a shirt at all times.

**3.16** Contractors must not damage or destroy trees, shrubs and other landscape material on the homesite or within Ocean Ridge Plantation®.

- 3.17** The Declaration of Covenants, Conditions and Restrictions prohibits noxious or offensive activities. Contractors, subcontractors and delivery personnel will be required to conduct themselves accordingly.
- 3.18** The Ocean Ridge Plantation® security has jurisdiction for maintaining the safety and welfare of all Owners and residences. Homeowners may effect routine repairs on their homes, however they will be subject to the noxious and offensive activity prohibition contained in the Declaration and, at the discretion of the ASC, may be asked to cease activity if it is determined to be offensive. Contractors, subcontractors, delivery men and any other agent of the Owner doing business in Ocean Ridge Plantation® will be required to conduct themselves accordingly.
- 3.19** General Contractor must be responsible for landscaping subcontractor. General Contractor is needed to coordinate gutter, landscape, grading contractor and storm water engineer.
- 3.20** Silt fences shall be properly installed on sides and rear of site. The lower edge of all fencing shall be buried to prevent soil erosion and wind dislodging. Fencing shall be properly maintained during the entire construction process.
- 3.21** Storm water basins adjacent to the construction site will be properly protected using hay bales or other recognized method of silt control to prevent an inflow of silt and sand into the storm system.
- 3.22** A gravel (or similar stabilizing material) drive or entry area to the construction site will be immediately installed upon commencement of construction activity for material delivery. It is recommended that an area within the construction site be filled with sand or other suitable material for on-site worker parking. The number of construction related vehicles will be limited to those that can be parked within the confines of the construction site. The use of the roadway shall not be allowed to serve as, “parking area” for construction, related vehicles, nor shall it be used as a material staging area. Adjacent vacant property can be used for the purpose of worker parking following the presentation to the ASC of written permission from the adjacent property owner. No part of an adjacent property can be used for any type of storage activity or as a material staging area without written permission.
- 3.23** The General Contractor shall be responsible for keeping the roadway in front of and adjacent to the construction site free of dirt, mud and other debris resulting from the construction activity.
- 3.24** ORMA Property Maintenance Committee will provide first line of oversight for compliance with sections 3.4, 3.6, 3.7, 3.12, 3.20, 3.21 and 3.22.

## **SECTION IV: VIOLATIONS-ENFORCEMENT & FINES**

### **4.1 Sanctions**

The ASC may impose sanctions for violations of these Design Standards per the Master Declaration of Covenants, Conditions and Restrictions, Article IV, Sec 4.4, including monetary fines. In addition, the ASC may exercise its self-help to cure violations, and may suspend any services it provides to the Owner of any Unit who is more than 30 days delinquent in paying any assessment or other charges due to the ASC. **Even though a construction deposit is required, the Owner is solely liable and responsible for any fines, assessments, etc, in excess of the \$5,000 deposit, caused by the Contractor’s failure to comply with the requirements of the ASC.**

**It is in the best interest of the Owner to have language in the agreement with the Contractor that will protect the Owner against any sanctions for violations by the Contractor of these Design Standards.**

## **4.2 Fines**

The following fines per incident may be imposed by the ASC. Failure to correct these violations may result in holds on present and future permits to construct at Ocean Ridge Plantation®. The ASC reserves the right to impose additional fines other than those listed below:

1. Homesite Improvements not complete within (12) Months of Commencement . . . . . \$25 (per day)
  2. Loud Music on Job Site . . . . . \$50 (per incident)
  3. Parking on Adjacent Property w/o Written Permission . . . . . \$50 (per incident)
  4. Employees without Shirts . . . . . \$50 (per incident)
  5. Pets on Job Site . . . . . \$50 (per incident)
  6. No children are allowed on construction sites . . . . . \$100 (per incident)
  7. Littered Site. . . . . \$50 (per day)
  8. Not Providing Screened Portable Toilet . . . . . \$100 (per day)
  9. Damage from Improper Erosion Control . . . . . \$50 (per day)
  10. Burning . . . . . \$200 (per incident)
  11. Damage to Adjacent Property . . . . . \$250-\$1000 (per incident)
  12. Not Providing Commercial Dumpster . . . . . \$300 (per day)
  13. Construction Equip/Materials on adjacent homesite or right of way w/o written permission. . . . . \$400 (per incident)
  14. Damage to Golf Course . . . . . cost to repair (per incident)
  15. Damage to Common Areas, Right of Way & Pavement. . . . . cost to repair (per incident)
  16. Dumping of any Refuse Materials . . . . . \$500 (per incident)
  17. Construction Prior to Required Site Inspection Approval . . . . . \$150 (per day)
  18. Working on Sundays, Holidays or during unauthorized Hours . . . \$500 (per incident)
  19. Unauthorized Changes to Approved Plans . . . . . \$1000 (per incident)  
(possible holds on future permits)
  20. Unauthorized Exterior Materials. . . . . \$1000 (per incident)  
(possible holds on future permits)
  21. Improper Signage . . . . . \$500 (per day)
  22. Damaging or Destroying Specimen Tree . . . . . \$1000 (plus cost to replace)
  23. Debris removed and dumpsters covered within 24 Hours of projected landfall of a hurricane as Forecasted by the National Weather Service. . . . . \$2500 (per incident)
  24. Unapproved exterior changes that require ASC authorization prior to installation . . . . . \$50 (per day)  
(i.e. satellite dish, flag pole, fountains, etc.)
  25. Sewer tap repair . . . . . \$200 minimum
- \*\* Be reminded if you have improper silt fencing installed, or it's been blown down, a fine of \$500 is charged immediately.**

**In addition to the above fines, the Owner and Contractor will also be responsible for the cost to correct damages for which fines have been imposed.**

## **4.3 Enforcement**

The overall goal of any set of design standards should be success for the Owner, Contractor, Declarant and the long term investment and lifestyle of the Homeowners and Community at large. It is our intent that our Design Standards assist in creating a stable community in which values will appreciate and community resources are preserved. With that in mind, any construction which occurs that has not been approved by the ASC will not be tolerated.

**To enforce these Design Standards, a stop work order may be issued to the Owner and/or Contractor, as well as fines and/or other legal remedies pursued.**

## SECTION V: THE ARCHITECTURAL STANDARDS COMMITTEE

The Architectural Standards Committee has been established to ensure high design standards and architectural harmony in order to preserve and enhance the natural setting and beauty of Ocean Ridge Plantation®. The ASC was not established to restrict design freedom, but instead to encourage the unique design that each homesite deserves.

The ASC has also been established for the purpose of defining aesthetic standards for construction in Ocean Ridge Plantation® and examining and approving or disapproving any and all proposed Improvements for a building site within the development, including but not limited to, construction or installation of dwellings, gazebos, sidewalks, driveways, parking lots, decks, patios, courtyards, swimming pools, walls, fences, exterior additions and changes or alterations to existing structures or approved landscape designs. ASC approval must be obtained for landscaping, fill operations, shaping of land areas and drainage, as well as removal of any trees. No structure shall be built, placed, erected, or installed upon any site, and no improvements, (including staking, clearing, excavation, grading and other site work), external alteration of existing improvements or planting and removal of landscaping materials shall take place except in compliance with the Design Standards and upon approval of the ASC. The ASC does not in any way take responsibility or infer by its approval to the structural soundness or that the building(s) meet any restricting state or local codes.

### 5.1 Administration:

The Declarant may appoint at least three, but not more than five persons to serve on the ASC, which will have exclusive jurisdiction over all construction on any portion of Ocean Ridge Plantation®. The Administrator, approved by the Declarant, shall act as the presiding officer at its meetings. The ASC is administered by the Administrator, including the day to day management of the ASC, as follows:

- a. To receive and process all applications to the ASC.
- b. To answer questions concerning the ASC and represent the ASC to the property owners and to the general public.
- c. To supervise site inspection efforts.
- d. To prepare routine correspondence for the ASC.
- e. To prepare minutes of meetings.

### 5.2 Meetings:

The ASC shall meet on the first and third Thursdays of each month, as well as upon call of the Administrator. All meetings shall be held at the office of the Vice President of Coastal Communities, located at 351 Ocean Ridge Parkway, S.W., Ocean Isle Beach, N. C.  
Telephone: (910) 287-1721; Fax (910) 287-1724.

In order to allow adequate review time, applications and required accompanying documents must be received by 5:00 PM on the Monday prior to the first and third Thursday of each month.

### 5.3 Fees

The following fees have currently been established:

- a. ASC Review Fee (Non-Refundable) . . . . . \$1100
- b. Property Owner Mailbox & Installation . . . . . \$ 225
- c. Construction Deposit (refundable) . . . . . \$5,000 (prior to site clearing)
- d. ASC Design Change Review . . . . . NC-\$300 (determined by ASC)
  1. A maximum of 5 non-structural changes during construction process . . . . . No Charge

- After 5 non-structural changes . . . . . \$100 each change
- 2. All structural changes . . . . . \$300 each

<b>SAMPLES</b>	<u>Non-structural Changes:</u>	<u>Structural Changes</u>
	Paint color (any where on the house)	Brick / Siding changes
	Front entry doors and side lights	Windows
	Shutter changes	Dormers / Gables
	Driveway changes	
	Shingle changes	

- e. ASC Landscape / Design Change Review . . . . . \$300 (existing homes)
- f. Alteration / Addition. . . . . \$300 (existing homes)
- g. Waste Water Grinder Pump Installation . . . . . \$3,900 (payable to Ocean Ridge Properties, Inc.)
- h. Road Usage Fee (non refundable) . . . . . \$500 (payable to ORMA by Builder)

**5.4 Incomplete Submittal**

Submittals will be returned to the applicant which do not include (a) all required fees, (b) all required plans (with registered stamp and/or designer’s title block), documents, and (c) all required materials and samples. The ASC will not consider any application until the submittal is complete.

**5.5 Notification**

Owner and Contractor will receive written notification of the ASC’s decisions. Oral representation of any decision will not be valid and will not represent the decision of the ASC. The response of the ASC may be (1) an approval, (2) an approval with conditions, (3) a request for additional information, or (4) a denial.

1. **Approval:** If the plans are approved by the ASC, the Owner and Contractor will receive notification of the approval from the ASC
2. **Approval with Conditions:** If the plans are approved with conditions, the Owner and contractor will receive notification as to the conditions of approval. If approval with conditions is granted, and construction then begins, the beginning of construction shall be deemed approval by the Owner and Contractor of the conditions imposed.
3. **Request for Additional Information:** A request for additional information shall be deemed a determination that the information submitted was inadequate. Requested information must be received before the review process will continue.
4. **Denial:** Denied approval of submitted plans and specifications may be based upon any ground by the Declarant, including purely aesthetic judgment, which in the sole and uncontrolled discretion of the Declarant shall be sufficient. The right of approval reserved to the Declarant herein may be assigned to the ASC, in the sole discretion of the Declarant. If in the judgment of the ASC the plans submitted do not conform to the intent and requirements of the Design Standards, the plans will not be approved with stated comments and reasons for the denial given. Extensive modifications may be required, necessitating a resubmittal. The burden of developing the new design solution will lie with the Owner and the design professional.

## SECTION VI: THE ARCHITECTURAL REVIEW PROCESS

### 6.1 Conceptual Design Review Submittal

The conceptual design review stage is an attempt to eliminate concepts which are not in keeping with the Design Standards. Renderings and photographs may be submitted in addition to plans at the Owner's discretion in order to determine the suitability of a particular design for construction at Ocean Ridge Plantation®. *Please note that this is a "conceptual" review. The ASC cannot render an opinion on details not shown. Also, in the absence of a fully developed site plan, the ASC cannot fully determine whether the proposed conceptual design can be accommodated by the home site's building envelope.*

1. **Submit Contractor Application** (page 40). The Owner shall include the classification of the Contractor's license, the address and telephone number of the Contractor, two owners of comparable properties recently constructed by the Contractor, and a minimum of three financial references provided by the Contractor. A Contractor shall be approved if the Contractor has an appropriate North Carolina Unlimited General Contractor's License in good standing, is of good financial standing, and has constructed comparable structures on a regular and routine basis to the satisfaction of the owners of those properties. The Contractor must provide the ASC with a financial statement at the beginning of each year and a copy of the renewed licenses. Also the Contractor must attend any scheduled meetings held by the ASC. The Contractor must receive approval from the ASC before construction begins.

It is strongly recommended that:

- (a) The Owner establish a relationship with a bank for the purpose of developing the requirements of, and scheduling for, the construction draw process;
  - (b) The Owner check references provided by the Contractor; and that
  - (c) The Owner does not enter into a contractual agreement with a Contractor or supply the Contractor with the initial construction deposit until the Final Design Review application has been approved by the ASC.
2. **Submit Conceptual Design Review Application** (page 42)
  3. **Submit Construction Plans** (two (2) copies)
    - a. Conceptual Site Development Plan (see requirements on page 30)
    - b. Conceptual Design Elevations (see requirements page 30)
  4. **Incomplete Submittal**, refer to Section 5.4.
  5. **Notification procedures**, refer to Section 5.5.
  6. **Notification of Approval of Conceptual Design:**
    - a. Proceed with Final Design Review.

### 6.2 Final Design Review Submittal

1. **Submit Final Design Review Application** (page 43)
2. **Submit Construction Plans** (two (2) copies)
  - a. Site Development Plan (see requirements page 30)
  - b. Final Design Elevations (see requirements page 30)
  - c. Details & Sections (see requirements page 31)
  - d. Floor Plan (see requirements page 31)
  - e. Foundation Plan (see requirements page 31)
  - f. Landscape & Irrigation Plan (see requirements page 31) If not included, deadline for submittal is prior to WW pump tank installation request.

3. **Submit Checks** for \$1100 (Non-refundable ASC Design Review fee) and \$225 (mailbox fee), made payable to Coastal Communities @ ORP.
4. **Submit Material Information & Color Samples** (pages 44 thru 46)
5. **Submit Construction Agreement** (page 59), signed by both Owner and Contractor. (Check for \$5000 payable to Coastal Communities @ ORP)
6. **Incomplete Submittal**, refer to Section 5.4.
7. **Notification procedures**, refer to Section 5.5.
8. **Notification of Approval of Final Design:**
  - a. Proceed by preparing the homesite in accordance with the approved plan. Submit Form #1 Site Layout Inspection, and your \$5,000 Construction Deposit.

## SECTION VII: THE CONSTRUCTION PROCESS

### 7.1 County Permitting Process

In proceeding with the county permitting process, the following information will be helpful:

- a. **WATER TAP:** There is currently a **4-6 week lead time** required by the Brunswick County Utilities Dept., [(910) 253-2655] for water connection. You should keep this in mind as your construction schedule is developed. **Remember: You must request a site visit by an Coastal Communities Representative to flag the future location of the waste water pump tank before the water tap is installed. The water tap must be placed on the corner of the property, opposite the pump tank.** You will need the following information when making application at the county complex in Bolivia:
  1. Tax Parcel # for your homesite.
  2. Your Lot #, Section #, and Phase #
  3. Your 911 street address
  4. A check for the current fees. (**Note:** The county has been recommending a 1” tap for residences with underground irrigation systems. **Underground irrigation systems are required** at Ocean Ridge Plantation®.)
- b. **COUNTY BUILDING PERMIT:** To obtain your building permit from the Central Permitting Office [(910) 253-2055] your contractor will need the following:
  1. Contractor’s License
  2. Proof of Workman’s Compensation Insurance
  3. State Privilege License
  4. Two sets of Building Plans
  5. Site Development Plan

### 7.2 Site Layout Inspection and Construction Deposit

Upon notification of Final Design Review approval, prepare the homesite in accordance with the approved Site Development Plan. Submit Form #1, Site Layout Inspection along with your \$5,000 Construction Deposit, payable to Coastal Communities @ ORP. The construction deposit is required as an attempt to insure compliance with approved construction documents and the policies of these Design Standards, and must be received before the Site Layout Inspection will be performed by the ASC. (Refer to Construction Agreement (page 59-62) for further discussion of deposit) Owners and Contractors are forewarned that the ASC has the authority to strictly enforce Section IV, 4.2 of the Design Standards pertaining to fines. Failure to correct violations may result in possible holds on present and future ASC permits.

### 7.3 Commencement of Construction

After you have received your County Building Permit and your ASC Site Layout Inspection approval, you may commence construction. \*\*When determining the finished floor elevation during site clearing, drainage patterns should be established at this time to avoid serious future problems. A minimum of two percent (2%) grade away from the home to natural undisturbed areas and/or existing drainage patterns is required. It is the sole responsibility of the Owner and Contractor that these issues be adequately addressed during the construction process. [Refer also to Section I, 1.22, Water Run-Off Requirements (page 12)]

### 7.4 Design Changes during Construction

If changes to an approved plan become necessary during construction, submit Design Change Application (page 47) to the ASC describing the proposed changes, with drawings if necessary. Any structural changes made to the exterior of the home after the approved plans have been accepted will encounter a \$300 Design Change Fee. You will be allowed 5 non-structural changes per the construction period. These non-structural changes may be approved by the ASC Administrator outside of a regularly scheduled ASC meeting.

### 7.5 ASC Site Inspections and Request Forms:

During various stages of the Construction Process, your Contractor must submit the following completed forms to the ASC. Forms may be delivered or faxed to the ASC at (910) 287-1724. An ASC representative will attempt to make site inspections within two (2) working days of the request. The sequence of these inspections and requests for installations must be carefully followed. Fines may be imposed for failure to request required site inspections.

**Form #1. Site Layout Inspection:** A site inspection by a member of the ASC is required after approval of Final Design Review, **prior to clearing any homesite**. Orient your proposed home in accordance with the approved Site Development Plan, clearly marking with pulled string, the property lines, setback lines and building perimeters. Lot corner stakes must be visible. An evaluation of the existing terrain helps ensure that the proposed site structures and their elevations can be designed to effectively optimize the design opportunities of the site. The ASC may designate specimen trees at this time that must be protected during the construction process in accordance with Section I, 1.14. **All trees to be removed** must be clearly marked with red tape singularly or in groups. Submit the \$5,000 construction deposit (payable to Coastal Communities, Inc. ) along with this request for inspection. **Note: The Site Layout Inspection will not be conducted until construction deposit is received.**

**Form #2. Footer/Foundation Inspection:** A site inspection by a member of the ASC is required before pouring footings and/or slab. A foundation survey by a registered surveyor is required and verification must be supplied to the ASC office prior to commencing framing. This is for the benefit of both the Contractor and the Owner.

**Form #3. Dry-In/Exterior Elevations Inspection:** A site inspection by a member of the ASC is required when all walls and roof are framed and exterior sheathing applied, to determine if the exterior elevations have been constructed according to the approved plans.  
**Note:** Your Landscape & Irrig. Plan must be submitted prior to submission of Form #4.

**Form #4. WasteWater Pump Tank Installation & Connection Inspection:**

**1. Call the ASC office** during the planning stages of construction requesting a site visit by an Coastal Communities Representative to flag the future location for installation of the wastewater

pump tank. NOTE: The water tap must be placed on the corner of the property **opposite the waste water pump tank**. Also, knowing the future location of the pump tank will aid your plumber in stubbing out for the gravity waste water line on the correct side of the home. There is currently a **4-6 week lead time** required by the Brunswick County Utilities Dept., [(910) 253-2655] for installation of a water tap. Keep this in mind as your construction schedule is developed. You may need to apply for your water tap prior to beginning the ASC review process so that once you have been granted ASC Final Design approval you will have water available to your property.

**2. Two weeks prior to scheduling your plumber for trim-out**, submit Form #4 requesting installation of the waste water pump tank. With Form #4 you are required to submit your check for waste water connection fees in the amount of \$3,900, payable to Ocean Ridge Properties, Inc. These fees include tap fee, installation of the waste water pump tank and installation and wiring of the electrical control panel. After the above fees are paid, the installation of the waste water pump tank will be scheduled. (allow at least 10 working days)

**3. After the waste water pump tank is set**, it is the Contractor's responsibility to install the gravity waste water line from the house to the waste water pump tank and perform the supervised connection. Call the ASC office to schedule supervision of the connection. (This connection must be performed under the strict supervision of an Coastal Communities Representative and in strict accordance with the Connection Diagram provided on page 52. No connection will be approved unless adherence to this request is followed.)

**4. To finalize the connection procedures**, the ASC will schedule the installation and wiring of the wastewater pump tank electrical control panel. This procedure will be performed by Ocean Ridge Properties, Inc. and is included in the connection fees.

**Form #5. Roadway Connection Inspection**: The driveway must be formed and a site inspection by a member of the ASC is required to inspect proposed grades and layout of the roadway connection prior to commencing further construction of driveway. A cross section is provided on page 54 as a guide, noting that actual grades will vary and must be conformed to on an individual basis.

**Form #6. Mailbox Installation Request**: One mailbox per dwelling is required. In order to maintain consistency throughout the Plantation®, all mailboxes will be built and installed by the Association, and will include a newspaper receptacle, as well as the appropriate address numbers to meet Brunswick County specifications. (Allow 14 days for installation prior to taking occupancy of your home)

**Form #7. Occupancy Inspection**: A site inspection by a member of the ASC is required prior to occupying your home. When requesting this inspection, provide the ASC with a copy of the Certificate of Occupancy issued by the Brunswick County Building Department and your Final Survey by a licensed surveyor, showing the percentage of your homesite covered by impervious area. Any equipment, materials and debris must be removed. All repairs to trees, curbing or roadway must be completed, any violations corrected and temporary power pole, portable toilet, and dumpster removed. All site grading must be complete in preparation for landscape and irrigation installation. Upon approved Occupancy Inspection by the ASC, **the temporary construction sign must be removed** and you may occupy your home.

**Form #8. Landscape and Irrigation Inspections**: Two site inspections by the ASC are required during the landscaping process as follows:

1. **First Inspection:** Required after the complete fine grading and preparation of the site has been accomplished in order to assess whether all site conditions have been properly addressed to create positive drainage patterns, **prior to the installation of any irrigation, plant material, or sod.**
2. **Second Inspection:** Required to assess whether the landscape and irrigation installation complies with the approved plan as submitted. If the landscape and irrigation are not installed according to the approved plan, the ASC may exercise its self-help to cure violations as granted by the Declaration in Article IV, Sec 4.4, and install the landscape and irrigation per the approved plan, assessing the Owner for all costs incurred.

**Form #9. Construction Deposit Refund Request:** This refund request is required for return of construction deposit upon approval of Landscape & Irrigation Inspections. If in compliance, the construction deposit will be returned to the Contractor within 10 working days of the request, less any fines that have been imposed.

## **7.6 Completion of Construction**

All exterior homesite Improvements must be complete on or before 12 months after Commencement of Construction, or the ASC may impose fines as described in Section 4.2 of these Design Standards. Commencement of construction will be recognized as the date of ASC Site Layout Inspection approval. **In addition, the Association may exercise its self-help to cure violations, as granted by the Master Declaration of Covenants, Conditions and Restrictions in Article IV, Sec 4.4, and complete the exterior homesite Improvements according to the approved plans, assessing the Owner for all costs incurred.**

## **7.7 Additions/Alterations**

To request any additions or alterations to approved existing building designs or landscape designs, submit Design Change Application (page 47) to the ASC. Include all necessary fees, drawings, descriptions, samples, etc. along with your application. **No additions or alterations of any kind may begin or be installed without written approval from the ASC** (including for example, but not limited to, requests for changes to exterior colors or materials, additions of satellite dishes, alterations to landscape designs, to include additions of house or yard ornaments, etc, etc).

## **SECTION VIII: VARIANCES**

- 8.1 The ASC may grant variances from the Design Standards when topography, natural obstructions, hardship, or aesthetic and environmental considerations require additional evaluation. Such variances may only be granted, however, when unique circumstances dictate and no variance shall (a) be effective unless in writing; (b) be contrary to the Declarations of Ocean Ridge Plantation®; or (c) stop the ASC from denying a variance in other circumstances. There shall be reasonable assurance in a variance request that the overall intent of the Design Standards will be accomplished by the Owner's design as proposed.

## **SECTION IX: AMENDMENT**

- 9.1 **The Design Standards are subject to change without any prior notice.**

## **SECTION X: SEVERABILITY**

**10.1** This document shall not be rendered invalid or unenforceable should any of the provisions of this document or the application or effect thereof be invalid or unenforceable for any reason and to any extent. Those provisions which are not invalid or unenforceable shall be enforced to the greatest extent permitted by law.

# CONSTRUCTION PLAN REQUIREMENTS

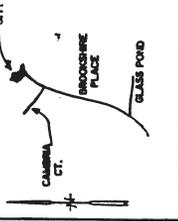
Submit Two (2) Copies)

1. Conceptual Site Development Plan at 1" = 20' minimum
  - a. Indicate conceptual building envelope and footprint of proposed home, including overhangs, decks, terraces, etc, with setback dimensions specific to your homesite shown. (These setbacks are available from the ASC office)
2. Conceptual Design Elevations at 1/4" = 1'0"
  - a. Indicate front, rear and side elevations detailed consistently including elements such as water tables, quoins, trim work and belt courses, with finished floor elevations.
  - b. Indicate all exterior wall finish materials.
  - c. Indicate dimensions of proposed trim detail, i.e. fascia, frieze, soffit, etc.
  - d. Indicate total heated living space.
  - e. Indicate roof pitch, all elevations.
3. Site Development Plan at 1" = 20' minimum
  - a. Provide topographic information including north arrow, property lines, bearings, and easements (golf, access and utility), with dimensions shown.
  - b. Indicate the building envelope, with setback dimensions specific to your homesite shown. (These setbacks are available from the ASC office.)
  - c. Indicate the footprint of the proposed home, including overhangs, any decks, terraces, steps, etc., drawn within the building envelope. (*Contractor provides drawings to surveyor.*)
  - d. Indicate the proposed driveway layout, per requirements on page 4, with dimensions and setbacks indicated. (*Contractor provides proposed driveway layout to surveyor.*)
  - e. Indicate any existing live oaks and specimen trees 6" DBH or greater.
  - f. Indicate adjacent streets and edge of roadway.
  - g. Indicate unique or extreme site features, water edges, and direction of prominent views.
  - h. Indicate utility boxes at the street.
  - i. Indicate pools and/or spas (*Contractor provides drawings to surveyor, if applicable.*)
  - j. Provide proposed percentage of homesite to be covered by impervious surfaces (Actual percentage to be provided on final survey after Improvements are complete.)
4. Final Design Elevations at 1/4" = 1'~0"
  - a. Depict front, rear and side elevations, detailed consistently including elements such as water tables, quoins, trim work and beltcourse, with compass orientation and finished floor elevations.
  - b. Indicate hidden elevations not shown in any other drawing.
  - c. Indicate all exterior wall finish materials, graphically represented and noted (i.e brick, stucco, siding, etc).
  - d. Indicate trim and fascia detailing, windows, exterior doors, and gutters.
  - e. Indicate roof pitch, all elevations .
  - f. Indicate terraces, walls, decks and railings, steps, roof and foundation vents, crawl space access doors and service yard enclosures.
  - g. Provide accurate representation of topography.
  - h. Indicate location of approved satellite dish, if applicable.

5. Details and Sections at appropriate scales ( $3/4'' = 1'0''$  minimum):
  - a. A complete exterior wall section with construction details showing foundation, floor, typical wall construction with exterior and interior finishes, typical window head and sill detail, soffit, fascia, roof edge details, with gutter if applicable, typical roof and floor construction notes. Note all materials on wall section and dimension wall height and roof height.
  - b. Indicate manufacturer of windows and doors, indicating sizes, materials, finishes and whether casement or double hung.
  - c. Indicate finish floor elevations.
  - e. Provide column detail.
  - f. Provide details for decks and railings, steps, crawl space access doors and service yard enclosures.
  
6. Floor Plan at  $1/4'' = 1'0''$ 
  - a. Indicate interior spaces drawn to scale with rooms named with dimensions, including ceiling heights.
  - b. Indicate all walls, windows and door swings.
  - c. Indicate door and window schedule.
  - d. Indicate dimensions of overall limits of plan, including roof overhang.
  - e. Indicate garage, decks, terraces, steps, stoops and porches dimensions.
  - f. Indicate service yard enclosure.
  
7. Foundation Plan at  $1/4'' = 1'0''$ 
  - a. Indicate all walls, piers, footings, girders, beams and floor joists. Include foundations for decks, retaining walls, and exterior stairs.
  - b. Indicate location of all access openings, foundation vents and materials.
  - c. Indicate, if applicable, plan of basements showing retaining walls, windows, doors and interior spaces drawn and labeled.
  
8. Landscape and Irrigation plan at  $1'' = 20'0''$  minimum (submit 2 copies)
  - a. Indicate North arrow; all proposed site structures; any elements such as driveways, turn around, entry walks and other walkways, dimensioned with materials shown (if not shown elsewhere on other construction drawings); service areas, utility boxes, mailbox, etc; and any landscape elements such as yard ornaments, retaining walls, garden walls, trellises, stepping stones, etc, dimensioned with materials and details, unique site features, water edges, direction of prominent views, easements and right of ways.
  - c. Indicate existing trees and vegetation to be preserved.
  - d. Indicate planting plan for trees, shrubs, ground covers and vines, with plant list specifying quantity, size, root and spacing of the proposed plantings. Indicate lawn areas and natural areas to be mulched, including easements and right of ways.
  - e. Indicate location of any proposed lighting, indicating fixture type, bulb and wattage.
  - f. Your landscape designer should provide you with an irrigation plan with schematic head layout, piping, valve box and control locations. Where the Association may operate the irrigation system, the control box is to be located in the service yard enclosure.
  
9. Final Survey
  - a. Provide the ASC with a copy of the final survey after Improvements are complete. Indicate the verified percentage of homesite covered by impervious surfaces.



ONE ASHLITTLE RIVER RD. NW  
 284 NORTH CANTONHAM 28400  
 SMLS (910) 575-5008  
 FAX (910) 575-0504



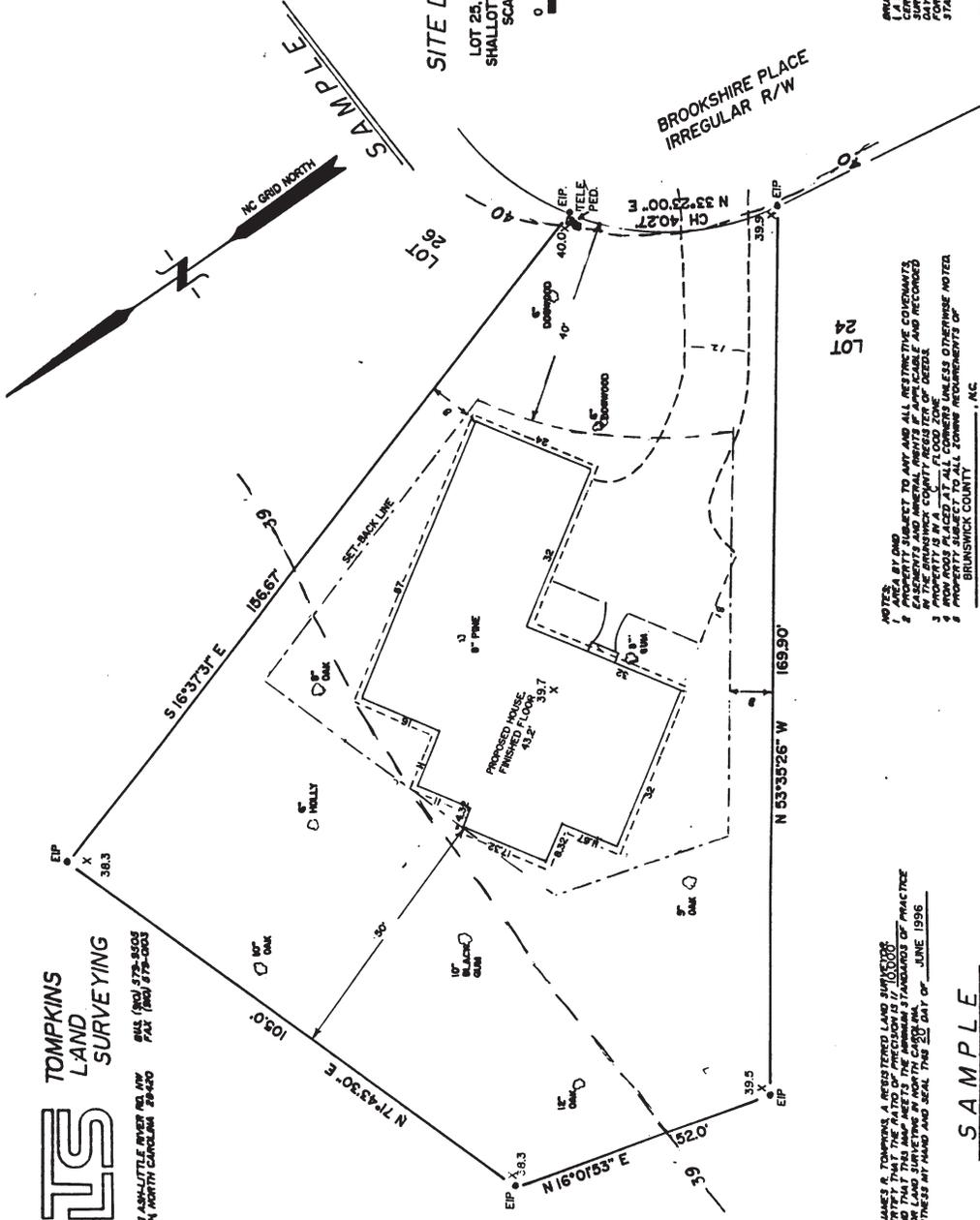
LOCATION MAP (No Scale)

- LEGEND
- EXISTING IRON
  - NEW IRON
  - CONCRETE MONUMENT
  - TELEPHONE PAD
  - ELECTRIC POLE
  - UTILITY POLE
  - - - FENCE (type noted)

**SITE DEVELOPMENT PLAN**  
 OF  
 LOT 25, PHASE 1, SECTION 2, OCEAN RIDGE  
 SHALLOTTE TWP., BRUNSWICK COUNTY, N.C.  
 SCALE 1" = 20' JUNE 20, 1996



2446.0' LOT IS PROPOSED TO BE IMPROVED



JAMES R. TOMPKINS, A REGISTERED LAND SURVEYOR  
 CERTIFY THAT THE RATIO OF PRECISION IS 1/100,000  
 FOR THIS SURVEY AND THAT THE SURVEY STANDARDS OF PRACTICE  
 FOR LAND SURVEYING WERE MET ON THE 20th DAY OF JUNE 1996  
 WITNESS MY HAND AND SEAL THE 20th DAY OF JUNE 1996

**SAMPLE**

JAMES R. TOMPKINS, P.L.S. #1-2828

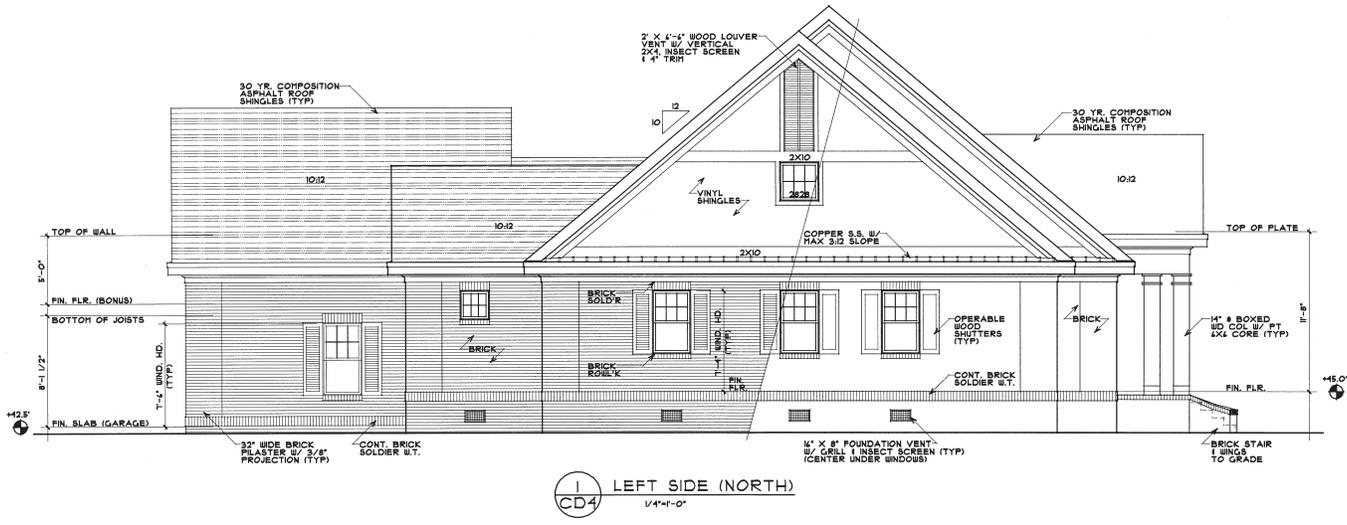
NOTES:  
 1. AREA BY AND PROPERTY SUBJECT TO ANY AND ALL RESERVING THE COUNTY IN THE BRUNSWICK COUNTY RECORDS OF DEEDS.  
 2. PROPERTY IS IN A FLOOD ZONE UNLESS OTHERWISE NOTED.  
 3. PROPERTY IS SUBJECT TO ALL ZONING REGULATIONS OF BRUNSWICK COUNTY, N.C.

BRUNSWICK COUNTY, NORTH CAROLINA  
 I, A NOTARY PUBLIC OF THE COUNTY AND STATE AFORESAID  
 CERTIFY THAT JAMES R. TOMPKINS, A REGISTERED LAND  
 SURVEYOR, HAS MET THE STANDARDS OF PRACTICE FOR  
 LAND SURVEYING AND HAS ACCURATELY SURVEYED THIS  
 DAY AND ACKNOWLEDGED THE EXECUTION OF THE  
 FOREGOING INSTRUMENT. WITNESS MY HAND AND OFFICIAL  
 STAMP ON SEAL THIS 20th DAY OF JUNE 1996

NOTARY PUBLIC  
 MY COMMISSION EXPIRES \_\_\_\_\_

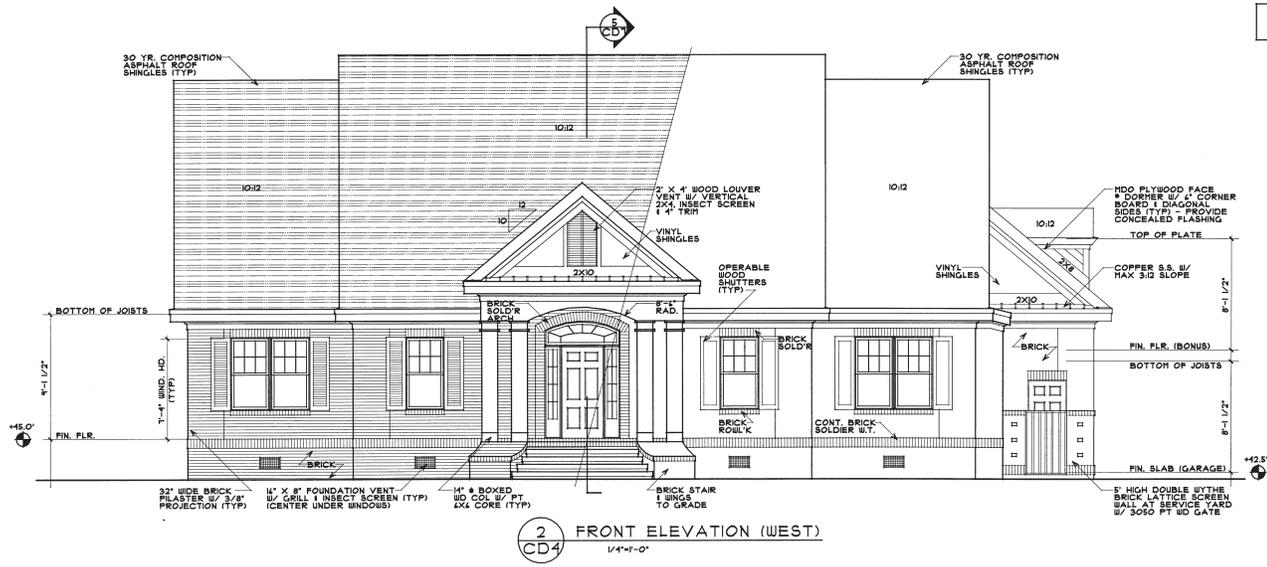
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SEAL

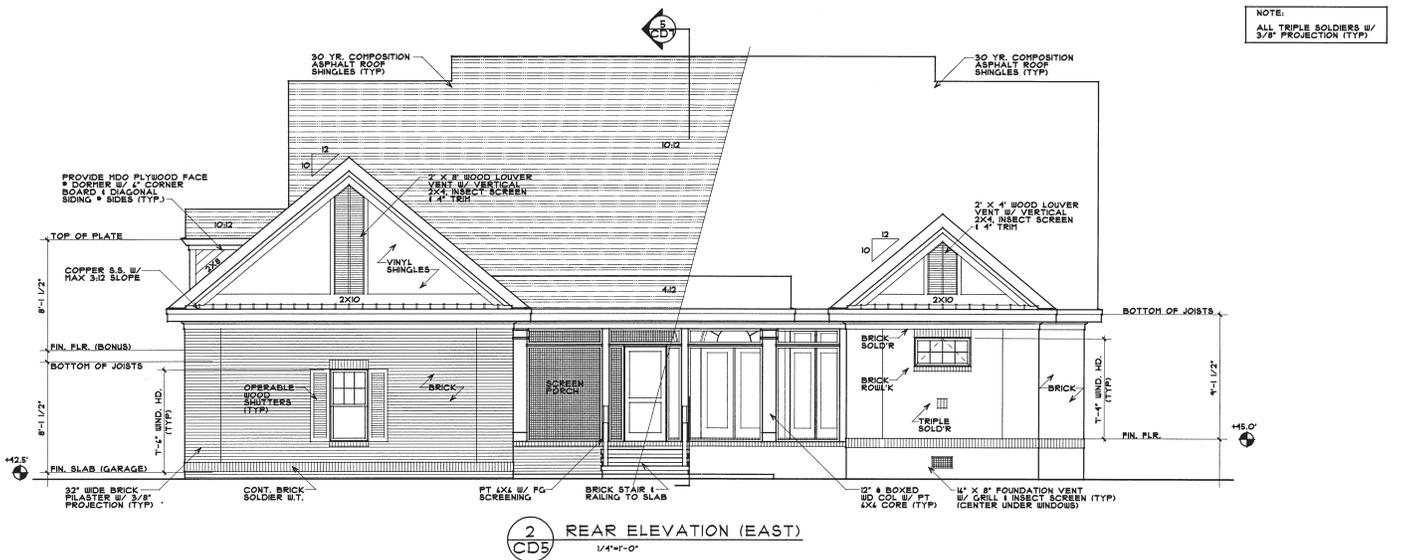
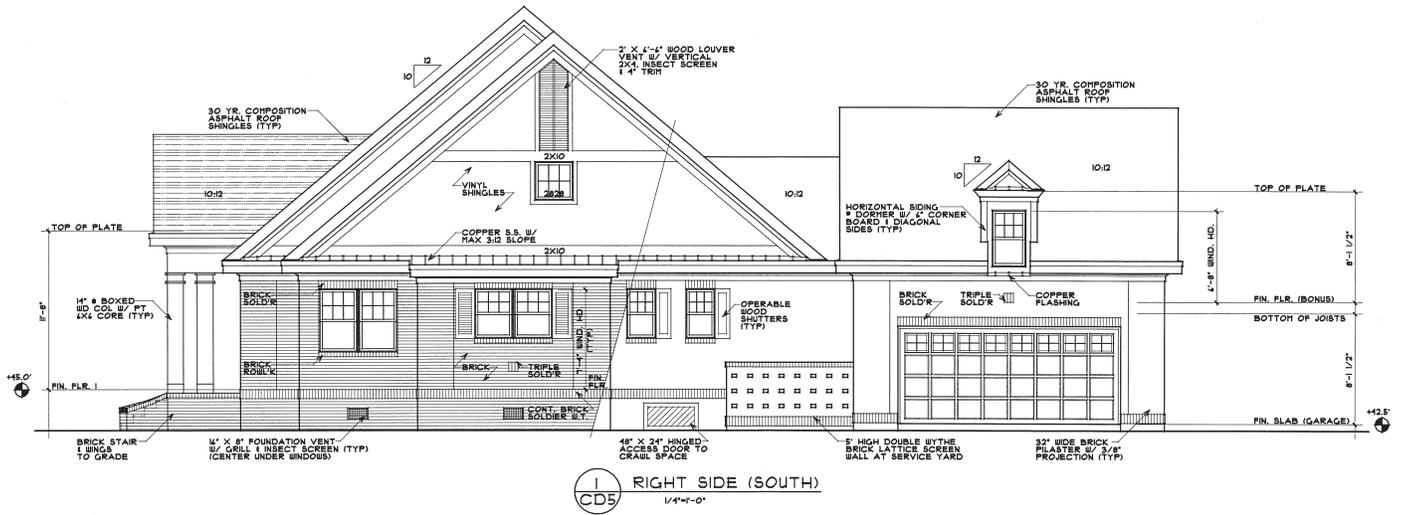


1 LEFT SIDE (NORTH)  
1/4"=1'-0"

NOTE:  
ALL TRIPLE SOLDIERS W/ 3/8" PROJECTION (TYP)



2 FRONT ELEVATION (WEST)  
1/4"=1'-0"



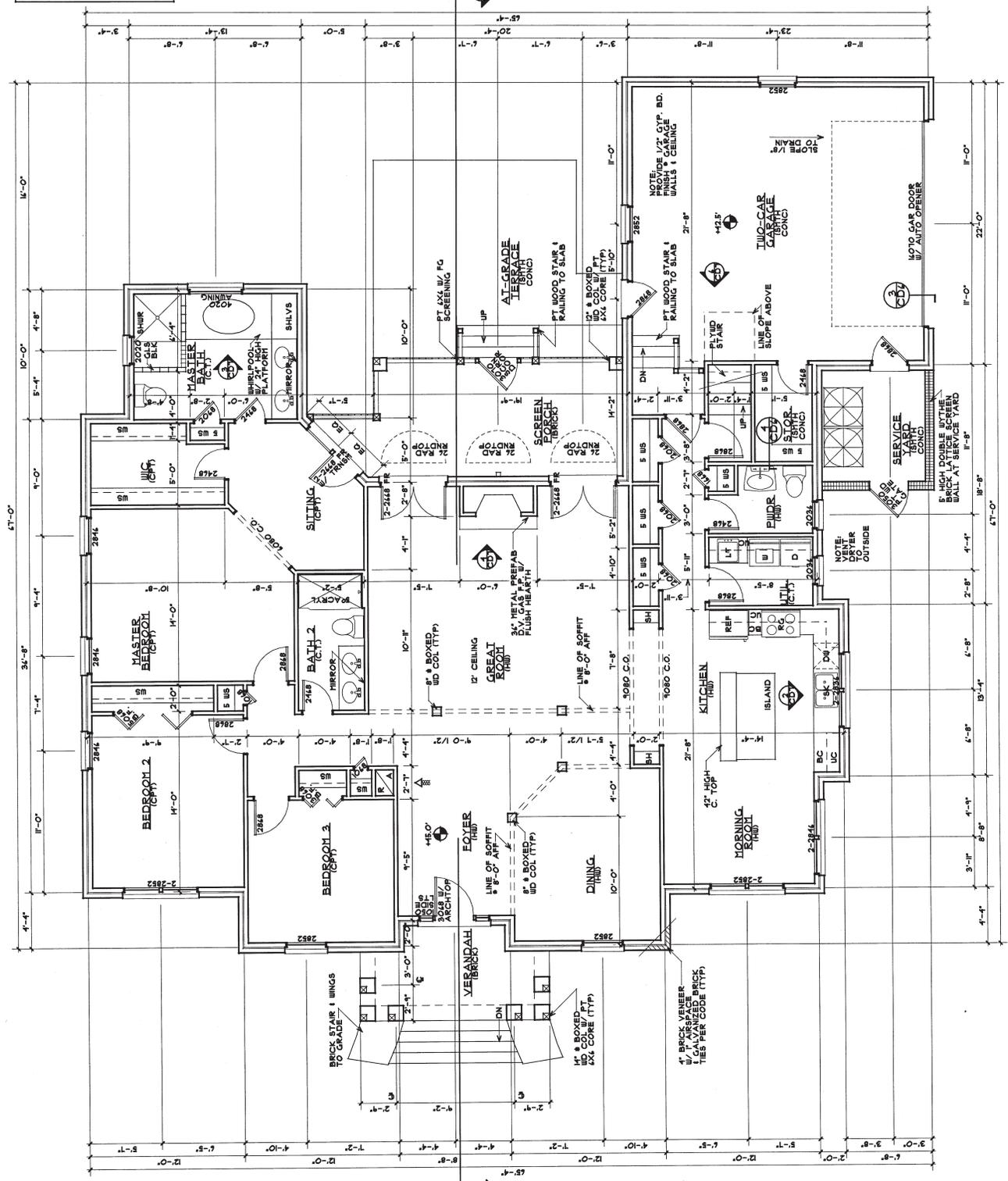
NOTE:  
ALL TRIPLE SOLDIERS W/  
3/8" PROJECTION (TYP)

- GENERAL NOTES:**
1. ALL EXTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING TO FACE OF SHEATHING.
  2. ALL INTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING TO FACE OF STUD UNLESS NOTED OTHERWISE.
  3. ALL INT. WALLS ARE 2"x4" STUDS @ 16" O.C. (3 1/2" UNLESS NOTED OTHERWISE).
  4. ALL EXT. WALLS ARE 2"x4" STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
  5. FOR ALL CASAB OPENINGS, SET HEADER @ 8'-0" AFF.
  6. INSULATE INT. WALLS W/ R-13 INSULATION WHERE NOTED.

NOTE: CEILING HEIGHT IN GARAGE IS 8'-1 1/2" TO MAXIMIZE BONUS FLOOR AREA. STRUCTURAL HEIGHT REVIEW THE STRUCTURAL DRAWING TO ENSURE THIS HEIGHT IS MAINTAINED.

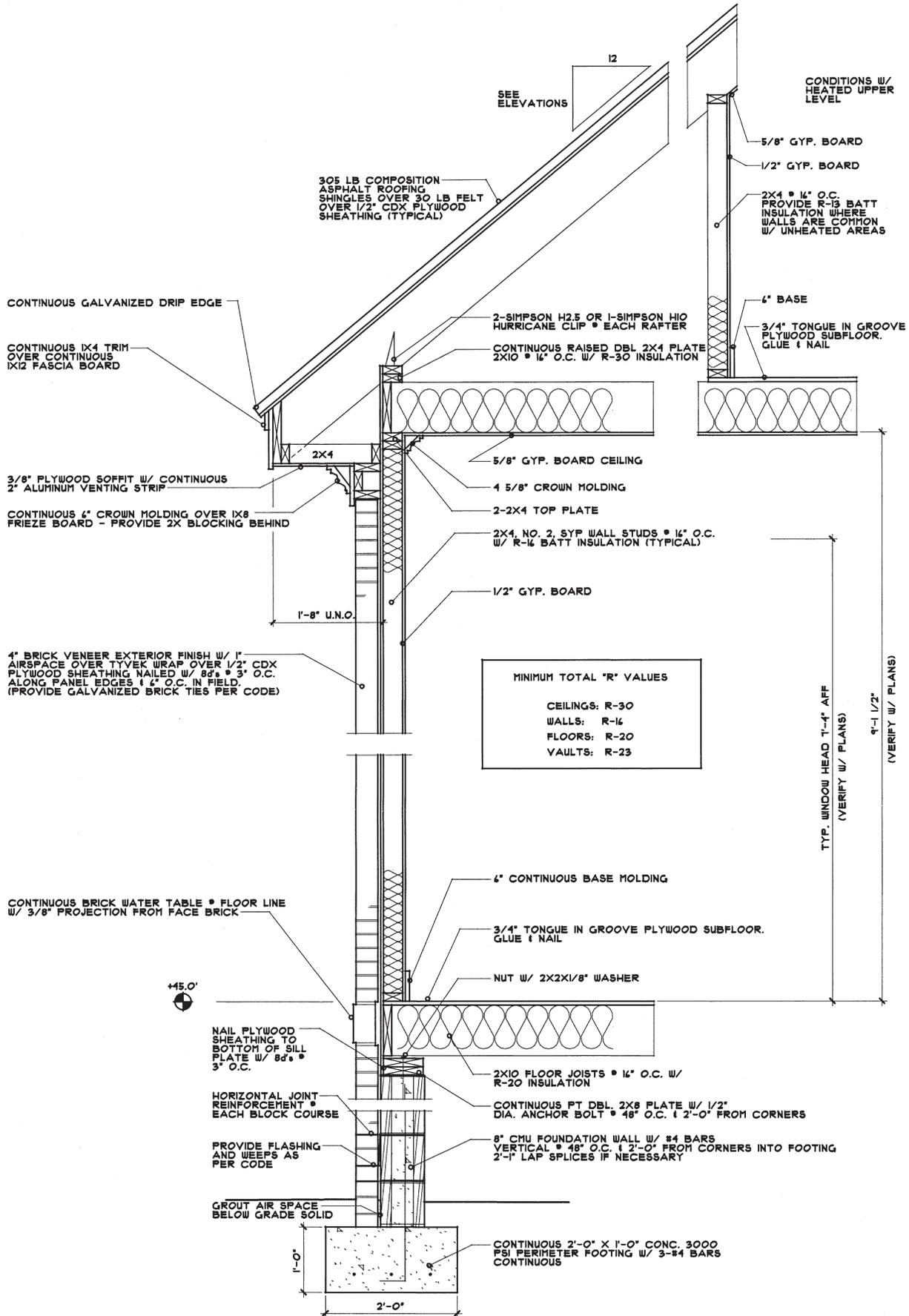
**AREA CALCULATIONS**

TOTAL HEATED:	2934 SF
VERANDAH:	441 SF
SCREENED PORCH:	222 SF
AT-GRADE TERRACE:	192 SF
DRIVE:	192 SF
TOTAL INTERIORS:	5040 SF
(W/ OVERHANG)	



**1 FLOOR PLAN**  
1/4"=1'-0"



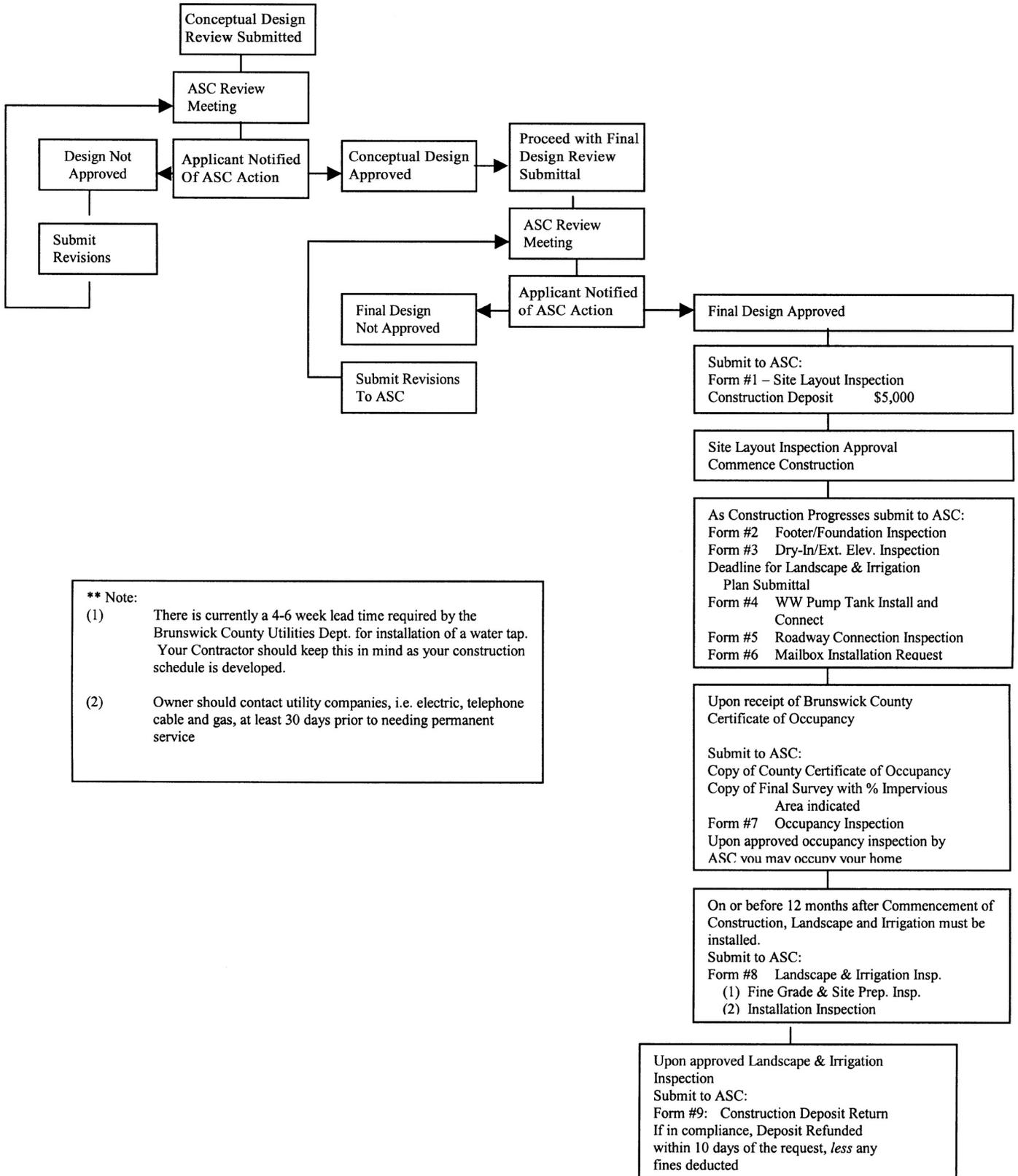


9 TYPICAL WALL SECTION  
CD6  
1"=1'-0"



# SECTION XII: FLOW CHART AND ASC SUBMITTAL FORMS

## ARCHITECTURAL REVIEW & CONSTRUCTION PROCESS FLOW CHART



**\*\* Note:**

(1) There is currently a 4-6 week lead time required by the Brunswick County Utilities Dept. for installation of a water tap. Your Contractor should keep this in mind as your construction schedule is developed.

(2) Owner should contact utility companies, i.e. electric, telephone cable and gas, at least 30 days prior to needing permanent service

# CONTRACTOR APPLICATION

BUSINESS NAME: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_

NC LICENSE #: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY: \_\_\_\_\_

STATE/ZIP: \_\_\_\_\_

TEL/FAX: \_\_\_\_\_

BEEPER: \_\_\_\_\_

OCEAN RIDGE PROPERTY OWNER:

\_\_\_\_\_

LOT #: \_\_\_\_\_ SECTION: \_\_\_\_\_ PHASE: \_\_\_\_\_

Plantation® STREET ADDRESS:

\_\_\_\_\_

**Contractor References:** (Please provide information on two (2) custom homes you have completed within the past 12 months. If available, include references for custom homes built within Ocean Ridge Plantation® or other master planned communities).

Master Planned Community _____	Master Planned Community _____
Property Address _____	Property Address _____
Owner Name _____	Owner Name _____
Owner Phone # _____	Owner Phone # _____
Date Began _____	Date Began _____
Date Complete _____	Date Complete _____
Comments _____	Comments _____

**Supplier/Subcontractor References:** (Please provide information as requested below)

	(1)	(2)	(3)
	Building Material Supplier	HVAC or Electrical Subcontractor	Other
Name of Company	_____	_____	_____
Contact Name	_____	_____	_____
Address	_____	_____	_____
Telephone #	_____	_____	_____

OTHERS (IF APPLICABLE)

\_\_\_\_\_  
\_\_\_\_\_

PLEASE PROVIDE THE FOLLOWING:

WORKMAN COMPENSATION INSURANCE:

COMPANY: \_\_\_\_\_

INS. NUMBER: \_\_\_\_\_

GENERAL LIABILITY INSURANCE COMPANY

INS. NUMBER: \_\_\_\_\_

THIS FORM MUST BE UPDATED AND PRESENTED TO THE ASC ADMINISTRATOR AT THE BEGINNING OF EACH NEW CALENDAR YEAR.

I hereby authorized Ocean Ridge ASC to verify the references provided above:

CONTRACTOR/BUILDER:

\_\_\_\_\_

BY: \_\_\_\_\_ TITLE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_ DATE: \_\_\_\_\_

(ASC Use Only): Date Rec'd: \_\_\_\_\_

Approved: \_\_\_\_\_ ASC Member: \_\_\_\_\_

# CONCEPTUAL DESIGN REVIEW APPLICATION

DATE SUBMITTED: \_\_\_\_\_ LOT #: \_\_\_\_\_

STREET ADDRESS: \_\_\_\_\_

OWNER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY: \_\_\_\_\_

STATE/ZIP: \_\_\_\_\_

TEL/FAX: \_\_\_\_\_

BEEPER: \_\_\_\_\_ TEL/FAX: \_\_\_\_\_

ARCHITECT/DESIGNER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY: \_\_\_\_\_

STATE/ZIP: \_\_\_\_\_

TEL/FAX: \_\_\_\_\_

BEEPER: \_\_\_\_\_

CONTRACTOR:

NC License #: \_\_\_\_\_ Class: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY: \_\_\_\_\_

STATE/ZIP: \_\_\_\_\_

Beeper \_\_\_\_\_

Tel/ Fax \_\_\_\_\_

LANDSCAPE /ARCHITECT:

ADDRESS: \_\_\_\_\_

CITY: \_\_\_\_\_

STATE/ZIP \_\_\_\_\_

TEL/FAX: \_\_\_\_\_

BEEPER: \_\_\_\_\_

HEATED LIVING AREA:

Single Story: \_\_\_\_\_ square feet

Multi Story: \_\_\_\_\_

First Floor \_\_\_\_\_ square feet

Second level \_\_\_\_\_ square feet

Third level \_\_\_\_\_ square feet

TOTAL \_\_\_\_\_ square feet

APPLICATION CHECK LIST: **(Office Use Only)**

\_\_\_\_\_ Contractor Application

\_\_\_\_\_ Conceptual Site Development Plan (2 copies)

\_\_\_\_\_ Conceptual Elevations (2 copies)

**(ASC Use Only):** Date Rec'd: \_\_\_\_\_

Approved: \_\_\_\_\_ ASC Member: \_\_\_\_\_

Comments:

# FINAL DESIGN REVIEW APPLICATION

DATE SUBMITTED: \_\_\_\_\_ LOT #: \_\_\_\_\_

STREET ADDRESS: \_\_\_\_\_

OWNER: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_

License #: \_\_\_\_\_ Class: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY: \_\_\_\_\_

CITY: \_\_\_\_\_

STATE/ZIP: \_\_\_\_\_

STATE/ZIP: \_\_\_\_\_

TEL/FAX: \_\_\_\_\_

TEL/FAX: \_\_\_\_\_

BEEPER: \_\_\_\_\_

BEEPER: \_\_\_\_\_

ARCHITECT/DESIGNER: \_\_\_\_\_

LANDSCAPE ARCHITECT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY: \_\_\_\_\_

CITY: \_\_\_\_\_

STATE/ZIP: \_\_\_\_\_

STATE/ZIP: \_\_\_\_\_

TEL/FAX: \_\_\_\_\_

TEL/FAX: \_\_\_\_\_

BEEPER: \_\_\_\_\_

BEEPER: \_\_\_\_\_

**HEATED LIVING AREA:**

Single Story: \_\_\_\_\_ square feet

Multi Story:

    First Floor \_\_\_\_\_ square feet

    Second level \_\_\_\_\_ square feet

    Third level \_\_\_\_\_ square feet

    TOTAL \_\_\_\_\_ square feet

**OTHER:**

Garage Area \_\_\_\_\_ square feet

Porch (es) \_\_\_\_\_ square feet

\_\_\_\_\_ square feet

Deck (s) \_\_\_\_\_ square feet

\_\_\_\_\_ square feet

    TOTAL \_\_\_\_\_ square feet

**APPLICATION CHECK LIST: (Office Use Only)**

**Construction Documents (2) Copies:**

\_\_\_\_\_ Site Development Plan @ 1" = 10'

\_\_\_\_\_ Foundation Plan @ 1/4" = 1' ~ 0"

\_\_\_\_\_ Floor Plans @ 1/4" = 1' ~ 0"

\_\_\_\_\_ Building Elevations @ 1/4" = 1' ~ 0"

\_\_\_\_\_ Details & Sections @ 3/4" = 1' ~ 0"

\_\_\_\_\_ Landscape Plan @ 1" = 20' minimum

\_\_\_\_\_ Material Information & Color Samples

*\*(Incomplete applications will not be reviewed)*

**APPLICATION FEE: (Office Use Only)**

\_\_\_\_\_ \$1100 Review Fee

\_\_\_\_\_ \$225 Mailbox Fee

Rec'd By \_\_\_\_\_

\_\_\_\_\_ \$5000 Construction Deposit

Rec'd By \_\_\_\_\_

**(ASC Use Only):**

Date Rec'd: \_\_\_\_\_ ASC Member: \_\_\_\_\_

# FINAL DESIGN REVIEW - MATERIAL INFORMATION AND COLOR SAMPLE

<u>Exterior Materials</u>	<u>Manufacturer</u>	<u>Style/Material</u>	<u>Color</u>
Doors: (Provide Brochures) Front	_____	_____	_____
Garage	_____	_____	_____
Other	_____	_____	_____
Exterior Wall Materials Brick/Stone, etc.	_____	_____	_____
(Provide Sample) Siding	_____	_____	_____
Durock/Stucco (Provide Brochure)	_____	_____	_____
Accent Banding	_____	_____	_____
Keystones	_____	_____	_____
Exterior Trim Materials Fascia/Frieze Board	_____	_____	_____
Soffit	_____	_____	_____
Window/Door Trim	_____	_____	_____
Gutters/Downspouts (Provide Brochure)	_____	_____	_____
Gable Vents	_____	_____	_____
Roofing Material (Provide Sample)	_____	_____	_____

<u>Exterior Materials</u>	<u>Manufacturer</u>	<u>Style/Material</u>	<u>Color</u>
Shutters (Provide Brochures)	_____	_____	_____
Windows (Provide Brochures)	_____	_____	_____
Other	_____	_____	_____

\*\* (Construction drawings should provide details for the items listed below)

Access Doors (Provide Detail)	_____	_____	_____
Chimney(s)	_____	_____	_____
Roof Penetrations	_____	_____	_____
Columns (Provide Detail and/or Brochure)	_____	_____	_____
Front Porch	_____	_____	_____
Railings (Provide Detail Drawing)	_____	_____	_____
Stairs (Provide Detail Drawing)	_____	_____	_____
Foundation	_____	_____	_____

Material Description

Color

Foundation Vents \_\_\_\_\_

Lighting, Exterior \_\_\_\_\_  
(Provide Brochure)

Lighting, Landscape \_\_\_\_\_  
(Provide Brochure)

Deck/Terrace \_\_\_\_\_  
(Circle One)

Railings \_\_\_\_\_

Railings \_\_\_\_\_  
(Provide Detail Drawing)

Stairs \_\_\_\_\_  
(Provide Detail Drawing)

Foundation \_\_\_\_\_

Screening \_\_\_\_\_  
Mech/HVAC  
(Provide Detail Drawing)

Foundation \_\_\_\_\_

Other \_\_\_\_\_  
(Provide Detail)

At grade patio \_\_\_\_\_  
(Provide Sample if other than Concrete)

Walkways \_\_\_\_\_  
(Provide Sample if other than Concrete)

Walls \_\_\_\_\_  
(Provide Sample)

Driveway \_\_\_\_\_

# DESIGN CHANGE APPLICATION

DATE SUBMITTED: \_\_\_\_\_ LOT #: \_\_\_\_\_ SECTION: \_\_\_\_\_ PHASE: \_\_\_\_\_

Plantation® STREET ADDRESS: \_\_\_\_\_

OWNER: \_\_\_\_\_ CONTRACTOR: \_\_\_\_\_

License #: \_\_\_\_\_

Class: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY \_\_\_\_\_

CITY: \_\_\_\_\_

STATE/ZIP \_\_\_\_\_

STATE/ZIP: \_\_\_\_\_

TEL/FAX: \_\_\_\_\_

TEL/FAX: \_\_\_\_\_

BEEPER: \_\_\_\_\_

BEEPER: \_\_\_\_\_

PROPOSED CHANGE: (Attach Drawing/Brochure/ETC., if Applicable)

REASON FOR CHANGE:

Signed: \_\_\_\_\_  
Owner

Signed: \_\_\_\_\_  
  
Contractor

**(ASC Use Only)**

Approved: \_\_\_\_\_ Date: \_\_\_\_\_

Not Approved: \_\_\_\_\_ Date: \_\_\_\_\_

Fee: \_\_\_\_\_ Paid: \_\_\_\_\_ Date: \_\_\_\_\_

Comments:

Signed: \_\_\_\_\_

Date: \_\_\_\_\_

ASC Chairperson

# FORM #1

Architectural Standards Committee  
351 Ocean Ridge Parkway, P.O. Box 6960, Shallotte, N.C. 28470  
Telephone: (910) 287-1721; FAX (910) 287-1724

Date: \_\_\_\_\_ Lot# \_\_\_\_\_ Sec# \_\_\_\_\_ Phase# \_\_\_\_\_

Street Address: \_\_\_\_\_

Contractor: \_\_\_\_\_ Owner: \_\_\_\_\_

## Form #1. SITE LAYOUT INSPECTION

(Fax or deliver this form to the ASC after Final Design Review approval, prior to the removal of any trees or vegetation)

Site Layout Inspection: A site inspection by a member of the ASC is required after approval of Final Design Review, prior to clearing any homesite. Orient your proposed home in accordance with the approved Site Development Plan, clearly marking with pulled string, the property lines, setback lines and building perimeters. Lot corner stakes must be visible. An evaluation of the existing terrain helps ensure that the proposed site structures and their elevations can be designed to effectively optimize the design opportunities of the site. The ASC may designate specimen trees at this time which must be protected during the construction process in accordance with Section I, 1.14. All trees to be removed must be clearly marked with red tape singularly or in groups. Submit the \$5,000 construction deposit (**payable to Coastal Communities @ ORP**) along with this request for inspection. *Note: The Site Layout Inspection will not be conducted until construction deposit is received.*

**\*\*When determining the finished floor elevation during site clearing, drainage patterns should be established at this time to avoid serious future problems. A minimum of two percent (2%) grade away from the home to natural undisturbed areas and/or existing drainage patterns is required. It is the sole responsibility of the Owner and Contractor that these issues be adequately addressed during the construction process.\*\* [Refer also to Section I, 1.22, Water Run-Off Requirements (page 11)]**

Please enter your Brunswick County Building Permit number below.  
BRUNSWICK COUNTY PERMIT # \_\_\_\_\_

(For ASC Use Only)

Date Received: \_\_\_\_\_

Approved [ ] Not Approved [ ] Date: \_\_\_\_\_ Initial: \_\_\_\_\_

Comments:

Construction Deposit Received: \_\_\_\_\_ Date: \_\_\_\_\_ Initial: \_\_\_\_\_

# FORM #2

Architectural Standards Committee  
351 Ocean Ridge Parkway, P.O. Box 6960, Shallotte, N.C. 28470  
Telephone: (910) 287-1721; FAX (910) 287-1724

Date: \_\_\_\_\_ Lot# \_\_\_\_\_ Sec# \_\_\_\_\_ Phase# \_\_\_\_\_

Street Address: \_\_\_\_\_

Contractor: \_\_\_\_\_ Owner: \_\_\_\_\_

## Form #2. FOOTER/FOUNDATION INSPECTION

(Fax or deliver this form to the ASC after excavation and before pouring footers or slab)

Footer/Foundation Inspection: A site inspection by a member of the ASC is required before pouring footings and/or slab. A foundation survey by a registered surveyor is required and verification must be supplied to the ASC office prior to commencing framing. This is for the benefit of both the Contractor and the Owner

(For ASC Use Only)

Date Received: \_\_\_\_\_

Pre-Pouring Inspection: Approved [  ] Not Approved [  ]

Date: \_\_\_\_\_ Initial: \_\_\_\_\_

Foundation Survey Received: Date: \_\_\_\_\_ Initial: \_\_\_\_\_

Comments:

# FORM #3

Architectural Standards Committee  
351 Ocean Ridge Parkway, P.O. Box 6960, Shallotte, N.C. 28470  
Telephone: (910) 287-1721; FAX (910) 287-1724

Date: \_\_\_\_\_ Lot# \_\_\_\_\_ Sec# \_\_\_\_\_ Phase# \_\_\_\_\_

Street Address: \_\_\_\_\_

Contractor: \_\_\_\_\_ Owner: \_\_\_\_\_

## Form #3. DRY IN/EXTERIOR ELEVATIONS INSPECTION

(Fax or deliver this form to the ASC when exterior walls and roof are framed and exterior sheathing applied)  
Dry In/Exterior Elevations Inspection: A site inspection by a member of the ASC is required when all walls and roof are framed and exterior sheathing applied, to determine if the exterior elevations have been constructed according to the approved plans.

=====

(For ASC Use Only)

Date Received: \_\_\_\_\_

Approved [ ]      Not Approved [ ]

Date: \_\_\_\_\_      Initial: \_\_\_\_\_

Comments:

# FORM #4

Architectural Standards Committee  
351 Ocean Ridge Parkway, P.O. Box 6960, Shallotte, N.C. 28470  
Telephone: (910) 287-1721; FAX (910) 287-1724

Date: \_\_\_\_\_ Lot# \_\_\_\_\_ Sec# \_\_\_\_\_ Phase# \_\_\_\_\_

Street Address: \_\_\_\_\_

Contractor: \_\_\_\_\_ Owner: \_\_\_\_\_

## Form #4. WASTE WATER PUMP TANK INSTALLATION & CONNECTION INSPECTION:

(Fax or deliver this form to the ASC two weeks prior to scheduling your plumber for trim-out)

Proceed as follows:

1. Call the ASC office during the planning stages of construction requesting a site visit by an Ocean Ridge representative to flag the future location for installation of the wastewater pump tank. NOTE: The water tap must be placed on the corner of the property *opposite the waste water pump tank*. Also, knowing the future location of the pump tank will aid your plumber in stubbing out for the gravity waste water line on the correct side of the home. There is currently a 4-6 week lead time required by the Brunswick County Utilities Dept., [(910) 253-2655] for installation of a water tap. Keep this in mind as your construction schedule is developed. You may need to apply for your water tap prior to beginning the ASC review process. Once you have been granted ASC Final Design approval you will have water available to your property.
2. Two weeks prior to scheduling your plumber for trim-out, submit Form #4, requesting installation of the waste water pump tank. With Form #4 you are required to submit your check for waste water connection fees in the amount of \$3,900, *payable to Ocean Ridge Properties, Inc.* These fees include waste water tap fee, installation of the waste water pump tank and installation and wiring of the electrical control panel. After the above fees are paid, the installation of the waste water pump tank will be scheduled. (*allow at least 10 working days*)(*deep tanks take longer to be delivered and prices will vary*)
3. After the wastewater pump tank is set, it is the Contractor's responsibility to install the gravity waste water line from the house to the wastewater pump tank and perform the supervised connection. Call the ASC office to schedule supervision of the connection. (*This connection must be performed under the strict supervision of an Coastal Communities Representative and in strict accordance with the Connection Diagram provided on page 49. No connection will be approved unless adherence to this request is followed.*)
4. To finalize the connection procedures, the ASC will schedule the installation and wiring of the wastewater pump tank electrical control panel. This procedure will be performed by Ocean Ridge Properties, Inc. and is included in the connection fees.

### (For ASC Use Only)

Pump Tank Located and Flagged: [ ] Date: \_\_\_\_\_ Initial: \_\_\_\_\_

Payment Received: [ ] Date: \_\_\_\_\_ Initial: \_\_\_\_\_

Waste Water Pump Tank Installed [ ] Date: \_\_\_\_\_ Initial: \_\_\_\_\_

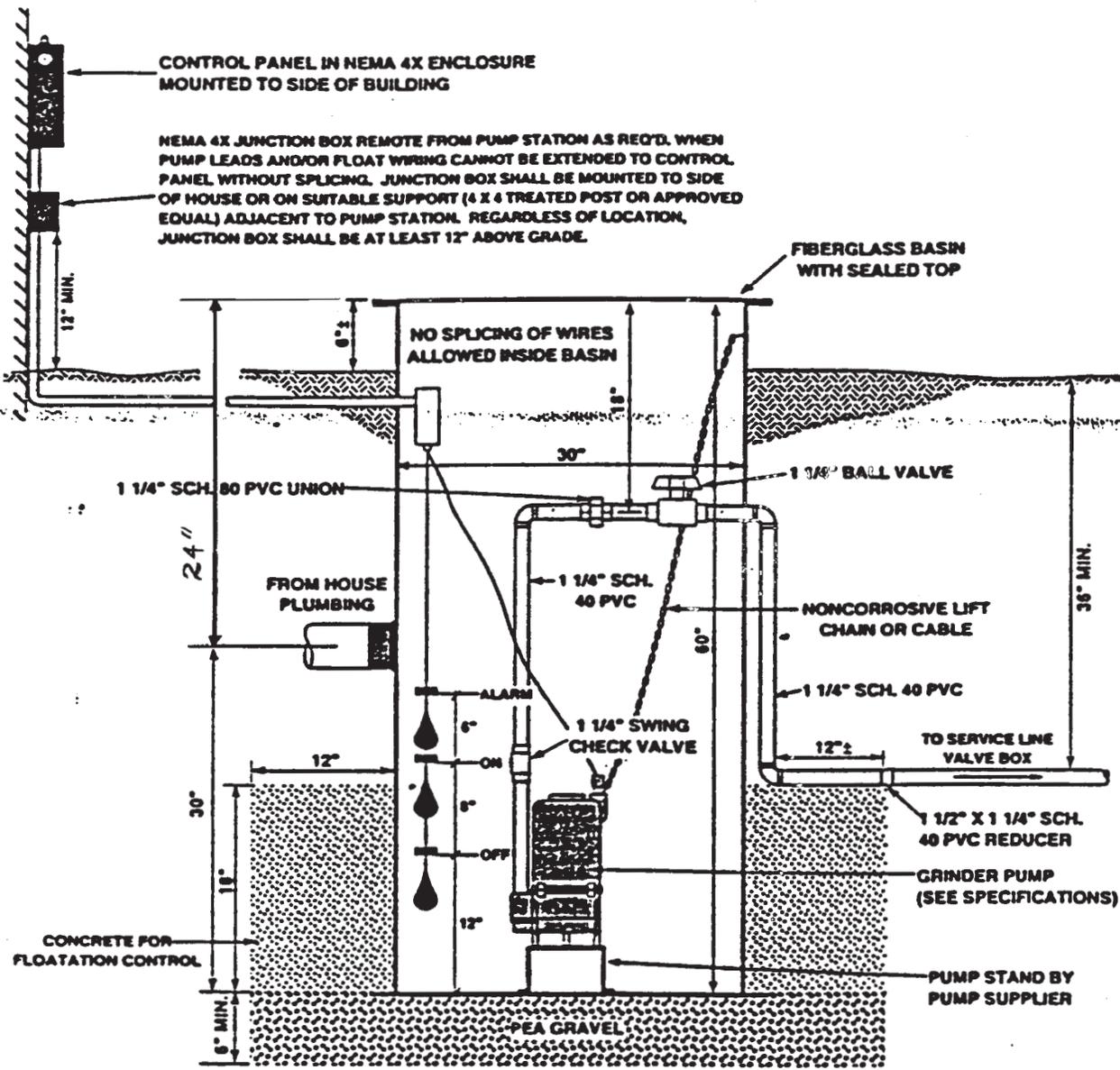
Connection Supervision [ ] Approved [ ] Not Approved

Date: _____ Initial: _____
----------------------------

Electrical Hook Up Complete [ ] Date: \_\_\_\_\_ Initial: \_\_\_\_\_

Service Initiation [ ] Date: \_\_\_\_\_ Initial: \_\_\_\_\_

(based on Brunswick County C/O date or Residential Closing Date, which ever is deemed applicable)



CONTROL PANEL IN NEMA 4X ENCLOSURE MOUNTED TO SIDE OF BUILDING

NEMA 4X JUNCTION BOX REMOTE FROM PUMP STATION AS REQ'D. WHEN PUMP LEADS AND/OR FLOAT WIRING CANNOT BE EXTENDED TO CONTROL PANEL WITHOUT SPLICING. JUNCTION BOX SHALL BE MOUNTED TO SIDE OF HOUSE OR ON SUITABLE SUPPORT (4 X 4 TREATED POST OR APPROVED EQUAL) ADJACENT TO PUMP STATION. REGARDLESS OF LOCATION, JUNCTION BOX SHALL BE AT LEAST 12" ABOVE GRADE.

FIBERGLASS BASIN WITH SEALED TOP

NO SPLICING OF WIRES ALLOWED INSIDE BASIN

1 1/4" SCH. 80 PVC UNION

FROM HOUSE PLUMBING

1 1/4" SCH. 40 PVC

1 1/4" BALL VALVE

NONCORROSIVE LIFT CHAIN OR CABLE

1 1/4" SCH. 40 PVC

1 1/4" SWING CHECK VALVE

TO SERVICE LINE VALVE BOX

1 1/2" X 1 1/4" SCH. 40 PVC REDUCER

GRINDER PUMP (SEE SPECIFICATIONS)

PUMP STAND BY PUMP SUPPLIER

CONCRETE FOR FLOATION CONTROL

PEA GRAVEL

**HOUSE PUMPING UNIT DETAIL**  
NTS

# FORM #5

Architectural Standards Committee  
351 Ocean Ridge Parkway, P.O. Box 6960, Shallotte, N.C. 28470  
Telephone: (910) 287-1721; FAX (910) 287-1724

Date: \_\_\_\_\_ Lot# \_\_\_\_\_ Sec# \_\_\_\_\_ Phase# \_\_\_\_\_

Street Address: \_\_\_\_\_

Contractor: \_\_\_\_\_ Owner: \_\_\_\_\_

## Form #5. ROADWAY CONNECTION INSPECTION

(Fax or deliver this form to the ASC when driveway layout and forming is complete)

Roadway Connection Inspection: The driveway must be staked and a site inspection by a member of the ASC is required to inspect proposed grades and layout of the roadway connection prior to commencing further construction of driveway. A cross section is provided as Exhibit B on page 51 as a guide, noting that actual grades will vary and must be conformed to on an individual basis. Driveways shall stop at the edge of pavement with a 1" formed edge above the edge of pavement. Some driveways may require the installation of pipe and the ASC office will notify you if this condition applies to your homesite. The ASC may remove any driveway material that extend into the street pavement and repair same, charging the cost to the Owner.

(For ASC Use Only)

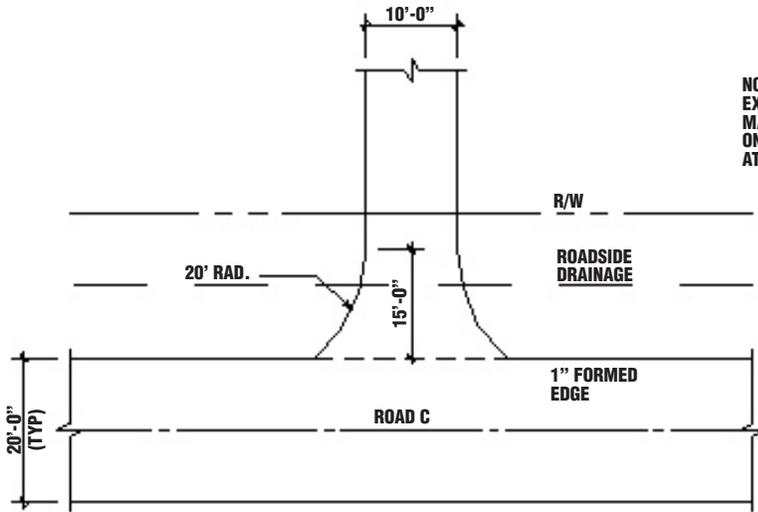
Date Received: \_\_\_\_\_

Approved [ ] Not Approved [ ]

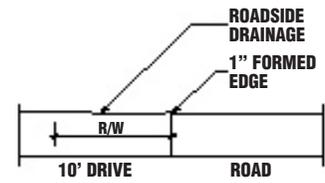
Date: \_\_\_\_\_ Initial: \_\_\_\_\_

Comments:

## ROADWAY CONNECTION



NOTE:  
EXAMPLE ONLY. ACTUAL GRADES  
MAY VARY. PIPE MAY BE REQUIRED  
ON SOME HOMESITES. INQUIRE  
AT THE ASC OFFICE.



## SECTION

## PLAN

# FORM #6

Architectural Standards Committee  
351 Ocean Ridge Parkway, P.O. Box 6960, Shallotte, N.C. 28470  
Telephone: (910) 287-1721; FAX (910) 287-1724

Date: \_\_\_\_\_ Lot# \_\_\_\_\_ Sec# \_\_\_\_\_ Phase# \_\_\_\_\_

Street Address: \_\_\_\_\_

Contractor: \_\_\_\_\_ Owner: \_\_\_\_\_

## Form #6. MAILBOX INSTALLATION REQUEST :

(Fax or deliver this form to the ASC to request installation)

One mailbox per dwelling is required. In order to maintain consistency throughout the Plantation®, all mailboxes will be built and installed by the ASC, and will include a newspaper receptacle, as well as the appropriate address numbers to meet Brunswick County specifications. *(Allow 14 days for installation prior to taking occupancy of your home.)*

=====

(For ASC Use Only)

Request Received:             Date: \_\_\_\_\_ Initial: \_\_\_\_\_

Payment Received:          Date: \_\_\_\_\_ Initial: \_\_\_\_\_

Mailbox Installed            Date: \_\_\_\_\_ Initial: \_\_\_\_\_

Comments:

# FORM #7

Architectural Standards Committee  
351 Ocean Ridge Parkway, P.O. Box 6960, Shallotte, N.C. 28470  
Telephone: (910) 287-1721; FAX (910) 287-1724

Date: \_\_\_\_\_ Lot# \_\_\_\_\_ Sec# \_\_\_\_\_ Phase# \_\_\_\_\_

Street Address: \_\_\_\_\_

Contractor: \_\_\_\_\_ Owner: \_\_\_\_\_

## Form #7. OCCUPANCY INSPECTION

(Fax or deliver this form to the ASC prior to occupying your home)

Occupancy Inspection: A site inspection by a member of the ASC is required prior to occupying your home. When requesting this inspection, provide the ASC with a copy of the Certificate of Occupancy issued by the Brunswick County Building Department and your Final Survey by a licensed surveyor, showing the percentage of your homesite covered by impervious area. Any equipment, materials and debris must be removed. All repairs to trees, curbing or roadway must be completed, any violations corrected and temporary power pole, portable toilet, and dumpster removed. All site grading must be complete in preparation for landscape and irrigation installation. Upon approved Occupancy Inspection by the ASC, the temporary construction sign must be removed and you may occupy your home.

=====  
(For ASC Use Only)

Date Received: \_\_\_\_\_

BRUNSWICK COUNTY C/O RECEIVED [ ] Date: \_\_\_\_\_

FINAL SURVEY RECEIVED [ ] Date: \_\_\_\_\_

OCCUPANCY APPROVED [ ] Date: \_\_\_\_\_

OCCUPANCY NOT APPROVED [ ] Date: \_\_\_\_\_

SIGN REMOVED [ ] Date: \_\_\_\_\_

Comments:

# FORM #8

Architectural Standards Committee  
351 Ocean Ridge Parkway, P.O. Box 6960, Shallotte, N.C. 28470  
Telephone: (910) 287-1721; FAX (910) 287-1724

Date: \_\_\_\_\_ Lot# \_\_\_\_\_ Sec# \_\_\_\_\_ Phase# \_\_\_\_\_

Street Address: \_\_\_\_\_

Contractor: \_\_\_\_\_ Owner: \_\_\_\_\_

## Form #8. LANDSCAPE AND IRRIGATION INSPECTIONS

(Fax or deliver this form to the ASC)

Landscape and Irrigation Inspections: Two site inspections by the ASC are required during the landscape process as follows:

1. First Inspection: Required after the complete fine grading and preparation of the site has been accomplished in order to assess whether site conditions have been properly addressed to create positive drainage patterns *prior to the installation of any plant material or sod.*
2. Second Inspection: Required to assess whether the landscape and irrigation installation comply with the approved plan as submitted. If the landscape and irrigation are not installed according to the approved plan, the ASC may exercise it's self-help to cure violations as granted by the Declaration in Article IV, Sec 4.4, and install the landscape and irrigation per the approved plan, assessing the Owner for all costs incurred.

(For ASC Use Only)

Date Received: \_\_\_\_\_

### 1. FINE GRADING and PREPARATION INSPECTION

Approved [ ] Not Approved [ ]

Date: \_\_\_\_\_ Initial: \_\_\_\_\_

Comments:

### 2. INSTALLATION COMPLIANCE

Approved [ ] Not Approved [ ]

Date: \_\_\_\_\_ Initial: \_\_\_\_\_

Comments:

# FORM #9

Architectural Standards Committee  
351 Ocean Ridge Parkway, P.O. Box 6960, Shallotte, N.C. 28470  
Telephone: (910) 287-1721; FAX (910) 287-1724

Date: \_\_\_\_\_ Lot# \_\_\_\_\_ Sec# \_\_\_\_\_ Phase# \_\_\_\_\_

Street Address: \_\_\_\_\_

Contractor: \_\_\_\_\_ Owner: \_\_\_\_\_

## Form #9. CONSTRUCTION DEPOSIT REFUND REQUEST

(Fax or deliver this form to the ASC upon approval of final inspection)

Construction Deposit Refund Request: This refund request is required for return of construction deposit upon approval of Landscape & Irrigation Inspections. If in compliance, the construction deposit will be returned to the Contractor within 10 working days of the request, less any fines which may have been deducted.

(For ASC Use Only)

Request Received: \_\_\_\_\_

Deposit Held: \$ \_\_\_\_\_

### NATURE OF FINE IMPOSED

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### FINE IMPOSED

\$ \_\_\_\_\_  
\$ \_\_\_\_\_  
\$ \_\_\_\_\_  
\$ \_\_\_\_\_  
\$ \_\_\_\_\_

TOTAL FINES \$ \_\_\_\_\_

BALANCE DUE \$ \_\_\_\_\_

APPROVED \_\_\_\_\_

CONSTRUCTION DEPOSIT REFUNDED [ ] Date: \_\_\_\_\_

Ck #: \_\_\_\_\_

# ARCHITECTURAL STANDARDS COMMITTEE CONSTRUCTION AGREEMENT

Lot # \_\_\_\_\_ Section \_\_\_\_\_ Phase \_\_\_\_\_

Plantation® Street Address: \_\_\_\_\_

General Contractor: \_\_\_\_\_ Owner: \_\_\_\_\_

Address \_\_\_\_\_ Address \_\_\_\_\_

City/St/Zip \_\_\_\_\_ City/St/Zip \_\_\_\_\_

Approval is hereby granted to the above named Contractor and Owner, as authorized by the Architectural Standards Committee (the “ASC”) of the Ocean Ridge Master Association, Inc. (the “Association”), to construct a residence and other improvements and install landscaping and irrigation on the above property (such installation and construction being referred to herein as the (“Improvements”)), subject to the following conditions:

1. The person(s) shown above as Owner is/are all of the Owners, in fee simple, of the property described above. Contractor is the General Contractor hired by the Owner to construct the Improvements, and hereby represents to Owner and to the Association that he is properly licensed to construct the Improvements.
2. Owner and Contractor have received copies of and have read and understand the Master Declaration of Covenants, Conditions and Restrictions and any supplemental covenants, conditions and restrictions (the “Declarations”) applicable to the above development and the Residential Design Standards (the” Design Standards”). Owner and Contractor agree to comply with the requirements of the Declarations and Design Standards in connection with the construction of the Improvements.
3. All Improvements shall be constructed in accordance with the approved plans and specifications which Owner and Contractor have submitted to the ASC, and which have been approved by the ASC. Owner and Contractor agree to complete the building exterior and landscape & irrigation on or before twelve (12) months after commencement of construction (to be recognized as the date of ASC Site Layout Inspection approval.) The ASC shall have sole and unfettered discretion in connection with granting or denying extensions of time for completion.
4. Owner and Contractor agree to comply with site inspection procedures set out in the Design Standards. The Contractor specifically acknowledges that he has read and understands the Design Standards and General Rules for Contractors, Section III, and agrees to be bound by such standards and rules at the direction of the ASC and Ocean Ridge Security.
5. All revisions to the approved plans must be approved in writing by the ASC.
6. All requests for revisions to exterior materials must be submitted prior to the use or installation of such materials. The use or installation prior to approval of such exterior materials may result in forfeiture of the total construction deposit required per Section VII, 7.2 of the Design Standards; may result in the ASC suspending the activity of the Contractor until further notice by the ASC; and may result in the ASC exercising it’s self-help to cure violations as granted by the Declaration in Article IV, Sec 4.4 to correct the violation(s) according to the approved plan, assessing the Owner for all costs incurred.

7. Notification of any violations of this Agreement, the Declarations, or the Design Standards will be sent to the Owner and Contractor, defining those violations. Upon notification, the Owner and Contractor agree to cease construction of the Improvements until such violations have been removed or corrected. Neither the Declarant, successors or assigns, the ASC, any village owners' ASC, nor any employees or agents of those listed, shall be liable for any expenses or damages incurred by Owner or Contractor due to the cessation of construction because of such violations.

8. Owner agrees to install landscaping and underground irrigation according to approved landscaping and irrigation plan. The Contractor is responsible for the removal of all construction debris and the rough grading of the homesite prior to the landscape installation. The Landscape Contractor, if different from the general Contractor, is required to provide only the soils needed for planting mediums. The Owner shall request two inspections during the landscaping process per Form #8 (page 54) and shall correct any discrepancies between the approved plans and the installed landscape or be subject to the Association's rights to exercise its self-help to cure violations as granted by the Declaration in Article IV, Sec 4.4.

9. The Contractor is responsible for erecting soil erosion measures to protect the natural areas. Adequate silt fencing, gravel at the entry drives and other erosion control measures must be properly installed and maintained. The street shall be kept free of mud, silt and debris from erosion and construction traffic. It will be the financial responsibility of the Owner to re-landscape any disturbance of these natural areas. If any tree, required by the ASC to be preserved, is damaged due to careless construction activity, a minimum fine of \$1,000 per tree will be imposed and will be unconditionally deducted from the required construction deposit.

10. The Contractor agrees to protect all adjoining street rights-of-way, adjacent properties, golf course, and common areas. If such properties are damaged as a result of the Contractor's negligence, Owner and Contractor will restore all damaged property to its original state, subject to the approval of the ASC, and Owner and Contractor will be subject to the fines set out in Section IV, 4.2.

11. Contractor agrees to maintain the work site in a clean and orderly condition during construction and shall not cause trash and/or debris to accumulate on the property or anywhere within Ocean Ridge Plantation®. If notified by the ASC that these conditions have not been maintained, Contractor shall perform the required cleanup activities within three (3) days of such notification. In the event of Contractor's failure to perform such cleanup within that time period, Owner and Contractor hereby agree that the ASC may perform such cleanup, charging the Owner and Contractor for the cost thereof, and may in addition, impose against Owner and Contractor the applicable fines set out in the Design Standards, Section IV, 4.2.

12. In order to ensure compliance with the conditions of this Agreement, the Declaration and any Supplements, and the Design Standards, the Contractor shall provide a construction deposit of \$5,000 (the "Deposit") after approval of Final Design Review and in conjunction with submission of Form #1, Site Layout Inspection. The Deposit shall be held by the ASC until construction of the Improvements and the installation of the Landscape & Irrigation are completed, and any discrepancies identified at final inspection have been corrected. Any monies paid by the ASC (a) to correct changes not approved by the ASC, (b) to repair damages to adjacent property, common areas or the golf course, or (c) to clean up the job site or other construction debris, will be deducted from the Deposit. Fines that are assessed against the Contractor for violations, as set out in the Design Standards, will be deducted from the Deposit. Contractor agrees to replenish the Deposit to the original amount upon notification that monies have been used by the ASC. Owner and Contractor will be required to cease construction if the Deposit is not replenished within seven

(7) days of notification to the Owner and Contractor. Any funds remaining in the account following final inspection, minus any deductions authorized under this paragraph, will be returned to the Contractor, without interest. Submit Form #8, when approval is received on Landscape & Irrigation Inspections. Should the Deposit be insufficient to cover the fines assessed, the fines may become a lien against the homesite until they are paid in full.

13. Owner and Contractor agree to notify the ASC of any changes of homesite ownership or Contractor of the Improvements. In the event of any such change, a new Agreement must be executed before work may continue on the Improvements.

14. This Agreement constitutes approval by the ASC only and does not constitute any approval or permit required by any governmental entity or agency having authority over the work proposed on the above referenced homesite.

15. Contractor agrees to notify his employees, agents and subcontractors of the provisions of this Agreement, and acknowledges that they shall be bound by the provisions of this Agreement. Owner and Contractor shall be responsible for the conduct of their employees, agents and subcontractors.

16. The ASC has the right to have its agents enter and inspect the property from time to time without prior notice, in order to verify that construction of the Improvements is proceeding in accordance with the approved plans, this Agreement, the Declarations and the Design Standards, and to make such remedial maintenance and repairs authorized under this Agreement.

17. This approval expires twelve (12) months from the date hereof. If a builder takes more than 12 months to complete a home a hold on future building within Ocean Ridge may be issued.

18. Any contractor who has outstanding financial issues will not be allowed to build within Ocean Ridge.

19. Any contractor who has a history of making unauthorized design changes in the field without the ASC approval will not be allowed to build within Ocean Ridge.

This Application Agreement made this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Owner (Seal)

\_\_\_\_\_  
Contractor (Seal)

\_\_\_\_\_  
Owner (Seal)

\_\_\_\_\_  
Contractor (Seal)

Agreement accepted this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_

for \_\_\_\_\_, Owner(s) of

Lot \_\_\_\_\_, Sec \_\_\_\_\_, Phase \_\_\_\_\_, Ocean Ridge Plantation®.

By: \_\_\_\_\_  
ASC Representative