

I, JOHN L. PIERCE, CERTIFY THAT THIS MAP WAS DRAWN FROM AN ACTUAL SURVEY, THAT THE ERROR OF CLOSURE AS CALCULATED BY LATS & DEPS IS 1: 10.000, THAT THIS MAP WAS MADE IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

NORTH CAROLINA

ONSLOW COUNTY

NORTH CAROLINA

ONSLOW COUNTY

I, BETTY BULLOCK, NOTARY PUBLIC, CERTIFY THAT JOHN L. PIERCE PERSONALLY APPEARED BEFORE ME THIS DATE AND ACKNOWLEDGED THE DUE EXECUTION OF THE FOREGOING CERTIFICATE.

THE FOREGOING CERTIFICATE OF BETTY BULLOCK, NOTARY PUBLIC, IS CERTIFIED TO BE CORRECT. THIS INSTRUMENT WAS PRESENTED FOR REGISTRATION AND RECORDED IN BOOK 27 PAGE 147. SLIDE F-15, THIS 6 DAY OF March, 1997.

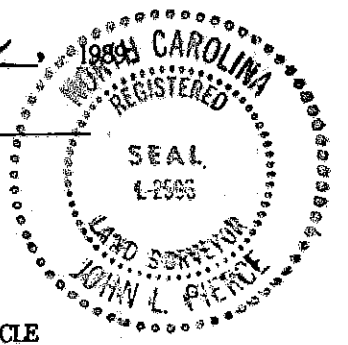
WITNESS MY HAND AND SEAL THIS 24 DAY OF Jan, 1997.

SUBSCRIBED AND SWORN BEFORE ME THIS 24 DAY OF Jan, 1997.

MY COMMISSION EXPIRES DECEMBER 28, 1993.

Mildred M. Thomas
REGISTER OF DEEDS

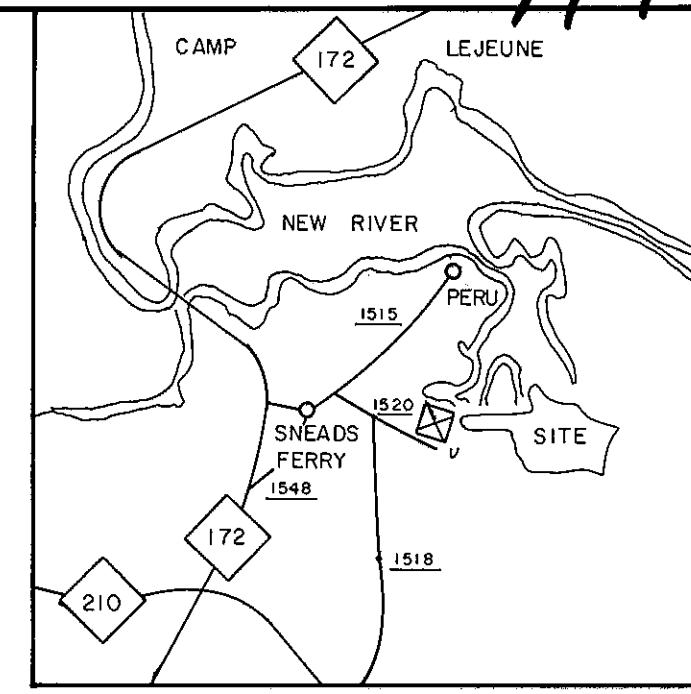
JOHN L. PIERCE, R.L.S. L-2596



HEREBY DECLARE THAT TO THE BEST OF MY KNOWLEDGE THE NON-STATE MAINTAINED ROADS ALLOWED UNDER ARTICLE VII OF THE ONSLOW COUNTY SUBDIVISION REGULATIONS AND WHICH ARE A PART OF THIS SUBDIVISION HAVE BEEN DESIGNED AND WILL BE BUILT TO THE STANDARDS OF SAID ORDINANCE. I ALSO HEREBY DECLARE THAT ONCE THE ROADS ARE CONSTRUCTED TO THE REQUIRED STANDARDS, I WILL BE RESPONSIBLE FOR MAINTENANCE. I DO NOT HOLD ONSLOW COUNTY OR THE STATE OF NORTH CAROLINA RESPONSIBLE FOR THE MAINTENANCE OF THESE ROADS.

1/24/91
DATE

John L. Pierce
OWNER



LOCATION MAP
NO SCALE

TRACT DATA:
AREA OF TRACT - 41.76 ac
NUMBER OF LOTS - 86
MINIMUM LOT SIZE - 8000 S.F.
TYPICAL LOT DIMENSIONS - 80'x100'
OTHER LAND USE - RECREATION
WATER - COUNTY
SEWER - NORTH TOPSAIL

LEGEND:
○ = SET IRON STAKE
■ = CONCRETE MONUMENT
C/A = COMMON AREA
ST = 10'x70' SIGHT TRIANGLE
D.S.U.E. = DRAINAGE & UTILITY EASEMENT
REV. = RESERVED (NOT PART OF THIS PLAT)

THIS IS TO CERTIFY THAT THE UNDERSIGNED OWNS THE PROPERTY SHOWN HEREON, AND THAT THIS SUBDIVISION PLAN HAS BEEN ADOPTED WITH FREE CONSENT AND HEREBY ESTABLISHES THE MINIMUM BUILDING LINES, AND DEDICATES ALL STREETS, EASEMENTS, AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

THIS 24 DAY OF July, 1989.

John L. Pierce
OWNER

I, HEREBY CERTIFY THAT THE PLANS AND SPECIFICATIONS FOR THE WATER SYSTEM FOR ESCOBA BAY SECT. IV SUBDIVISION HAVE BEEN REVIEWED AND APPROVED BY THE ONSLOW COUNTY WATER DEPARTMENT AND/OR THE ONSLOW COUNTY WATER AND SEWER ADVISORY COMMISSION. INSTALLATION, MATERIALS AND DEDICATION REQUIRED ARE SUBJECT TO TERMS AND CONDITIONS OF THE ONSLOW COUNTY WATER ORDINANCE.

1/25/91
DATE
Bill Harvey
BILL HARVEY
ONSLOW COUNTY UTILITIES DIRECTOR

CERTIFICATE OF APPROVAL BY THE PLANNING BOARD

THE ONSLOW COUNTY PLANNING BOARD HEREBY APPROVED THE FINAL PLAT FOR ESCOBA BAY EQUESTRIAN & YACHTING COMMUNITY, SECTION IV.

1/29/91
DATE
Chairman of Planning Board
CHAIRMAN OF PLANNING BOARD

FINAL PLAT
ESCOBA BAY EQUESTRIAN
& YACHTING COMMUNITY

SECTION IV - SHEET 1 OF 2
STUMP SOUND TWP., ONSLOW COUNTY, N.C.

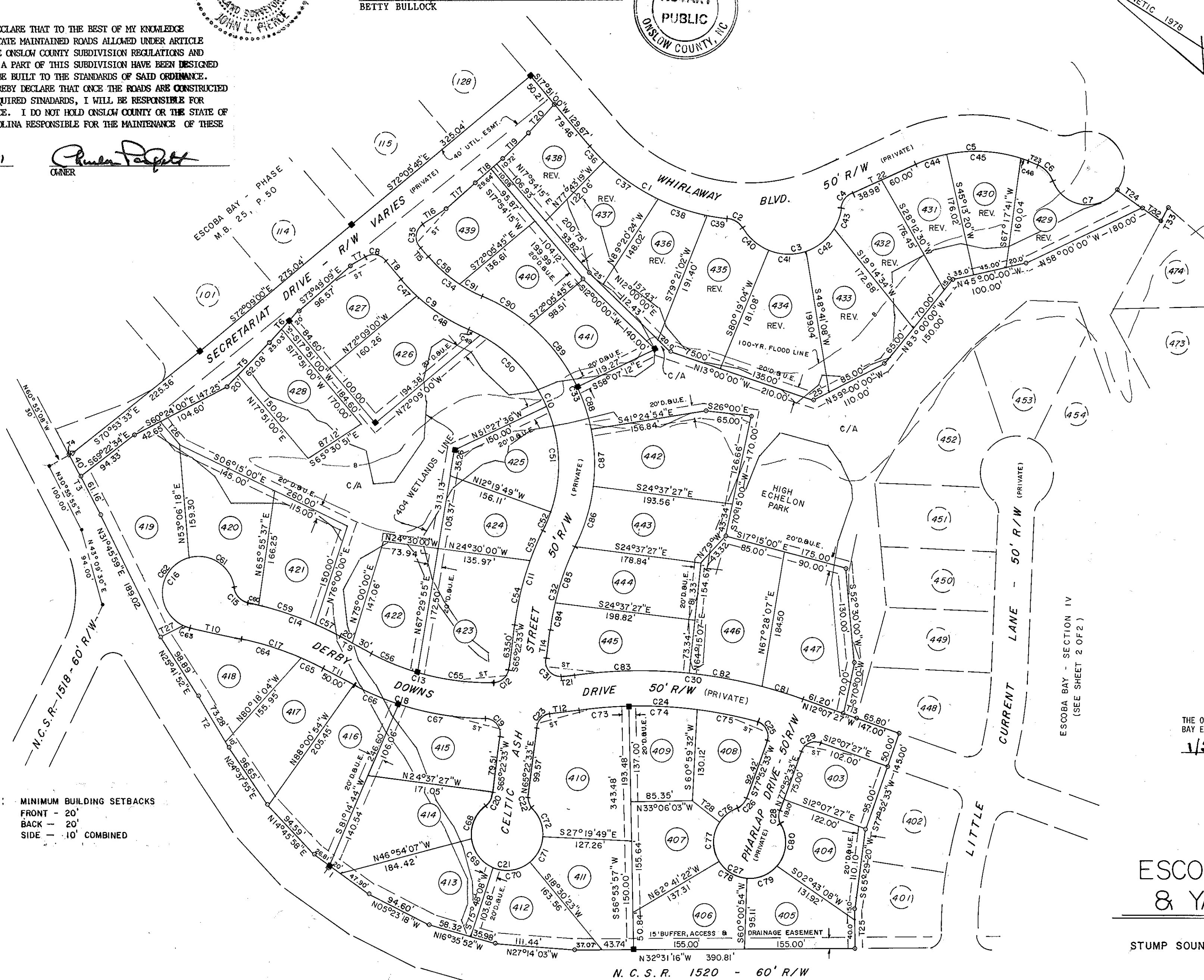
PROPERTY OF
CEPCO, INC.
JOHN L. PIERCE - SURVEYING
409 JOHNSON BLVD., JACKSONVILLE, N.C. 28540
PHONE: 919-346-9800 DATE: JULY 20, 1989

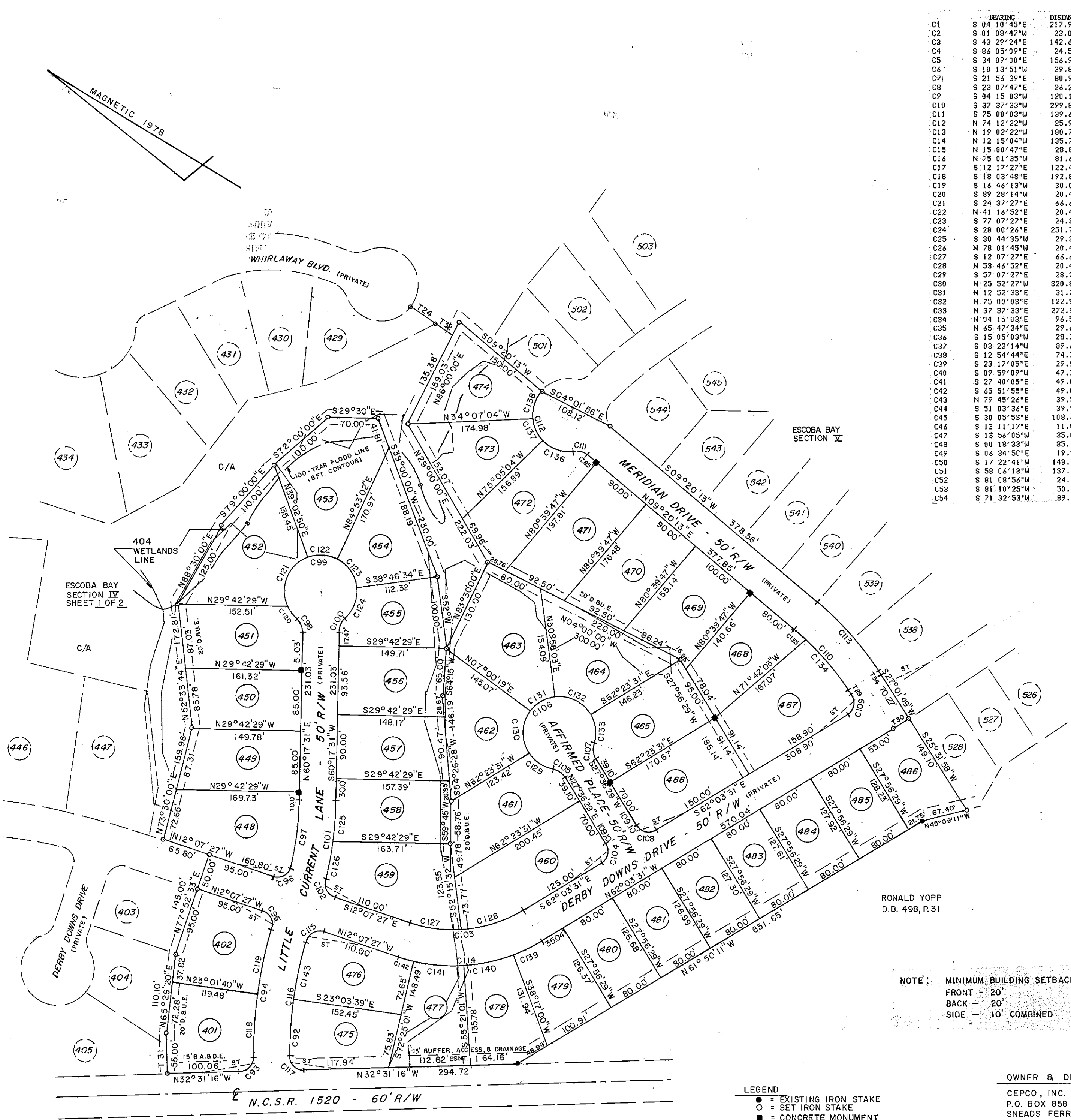
NOTE: MINIMUM BUILDING SETBACKS
FRONT - 20'
BACK - 20'
SIDE - 10' COMBINED

REF: PORTION OF D.B. 791, P. 634

NUMBER OF LOTS - 86

OWNER & DEVELOPER:
CEPCO, INC.
P.O. Box 858
SNEADS FERRY, N.C. 28460
919-327-3737





BEARING	DISTANCE	DELTA	RADIUS	ARC	C55	N 24 23'38"W	115.89'	18 47'18"	355.00'	116.41'
C1	S 04 10'45"E	217.92'	44 08'18"	290.00'	C55	N 09 38'44"W	66.26'	10 42'32"	355.00'	66.35'
C2	S 01 08'47"W	23.01'	54 47'22"	25.00'	C56	N 06 02'44"W	30.00'	03 30'29"	389.99'	30.00'
C3	S 43 29'24"E	142.48'	144 03'46"	75.00'	C57	N 09 41'48"E	58.33'	16 21'31"	205.00'	58.53'
C4	S 86 05'09"E	24.57'	58 52'17"	25.00'	C58	N 12 46'07"W	84.89'	09 56'21"	489.99'	85.00'
C5	S 34 09'00"E	156.90'	45 00'00"	205.00'	C59	N 18 58'28"W	21.15'	02 28'25"	489.99'	21.16'
C6	S 10 13'51"W	29.81'	43 45'42"	40.00'	C60	N 06 40'18"E	68.92'	07 07'57"	50.00'	67.04'
C7	S 21 56 39"E	80.96'	108 06'42"	50.00'	C61	S 44 40'38"W	97.97'	156 51'22"	50.00'	136.88'
C8	S 23 07'47"E	26.25'	82 00'39"	20.00'	C62	S 17 01'15"E	5.70'	04 32'24"	50.00'	5.71'
C9	S 04 15 03"W	120.14'	27 15'00"	255.00'	C63	S 14 06'18"E	94.82'	12 22'16"	439.99'	95.00'
C10	S 37 37'33"W	299.85'	94 00'00"	205.00'	C64	S 06 06'22"E	27.86'	03 37'44"	439.99'	27.87'
C11	S 75 00'03"W	139.69'	19 15'00"	417.72'	C65	S 09 34'31"E	74.60'	10 34'06"	405.00'	74.70'
C12	N 74 12'22"W	25.93'	80 50'10"	20.00'	C66	S 23 20'51"E	119.56'	16 58'35"	405.00'	120.00'
C13	N 19 02'22"W	180.75'	29 29'50"	355.00'	C67	S 78 19'54"W	134.16'	02 28'03"	50.00'	61.49'
C14	N 12 15'04"W	135.72'	15 55'15"	489.99'	C68	S 14 27'01"W	47.94'	57 17'45"	50.00'	50.00'
C15	N 15 00'47"E	28.84'	70 26'58"	25.00'	C69	S 42 50'45"E	47.94'	57 17'45"	50.00'	50.00'
C16	N 75 01'35"W	81.65'	250 31'43"	50.00'	C70	N 85 35'17"E	38.94'	45 50'12"	50.00'	40.00'
C17	S 12 17'27"E	122.47'	16 00'00"	439.99'	C71	N 39 55'41"E	38.66'	45 29'01"	50.00'	39.69'
C18	S 18 03'48"E	192.83'	27 32'41"	405.00'	C72	S 36 21'47"E	71.12'	04 31'24"	624.98'	71.16'
C19	S 16 46'13"W	30.01'	97 12'41"	20.00'	C73	S 28 44'47"E	94.91'	08 42'33"	624.98'	95.00'
C20	S 89 28'14"W	20.41'	48 11'23"	25.00'	C74	S 20 23'27"E	87.21'	08 00'04"	624.98'	87.28'
C21	S 24 37'27"E	66.67'	26 22'46"	50.00'	C75	N 68 54'05"W	25.88'	30 00'00"	50.00'	26.18'
C22	N 41 16'52"E	20.41'	48 11'23"	25.00'	C76	S 41 41'17"W	56.46'	68 45'18"	50.00'	60.00'
C23	S 77 07'27"E	24.35'	75 00'00"	20.00'	C77	S 01 20'15"E	47.94'	57 17'45"	50.00'	50.00'
C24	S 28 06'26"E	251.71'	23 14'03"	424.99'	C78	S 58 37'59"E	47.94'	57 17'45"	50.00'	50.00'
C25	S 30 44'35"W	29.32'	94 15'57"	20.00'	C79	N 61 12'09"E	52.27'	63 01'58"	50.00'	55.01'
C26	N 78 01'45"W	20.41'	48 11'23"	25.00'	C80	N 14 41'30"W	60.48'	05 08'08"	674.98'	60.50'
C27	S 12 07'27"E	66.67'	26 22'46"	50.00'	C81	N 21 30'14"W	99.91'	08 29'18"	674.98'	100.00'
C28	N 53 46'52"E	20.41'	48 11'23"	25.00'	C82	N 32 41'10"W	163.07'	13 52'34"	674.98'	163.47'
C29	S 57 07'27"E	28.28'	90 00'00"	20.00'	C83	N 68 07'02"E	89.98'	04 13'57"	367.72'	40.00'
C30	N 25 52'27"W	320.87'	27 30'00"	674.98'	C84	N 75 35'18"E	79.47'	13 01'03"	367.72'	83.55'
C31	N 12 52'33"E	31.73'	105 00'00"	20.00'	C85	N 57 37'04"E	80.07'	18 03'55"	255.00'	80.40'
C32	N 75 00'03"E	122.97'	19 15'00"	367.72'	C86	N 40 13'58"E	74.08'	16 42'17"	255.00'	74.35'
C33	N 37 37'33"E	47.94'	94 00'00"	205.00'	C87	N 19 22'05"E	110.49'	25 01'29"	255.00'	111.37'
C34	N 04 19'03"E	96.58'	27 15'00"	205.00'	C88	N 01 16'35"W	71.99'	16 13'47"	255.00'	72.23'
C35	N 65 47'34"E	29.69'	95 50'03"	20.00'	C89	N 03 55'44"W	38.91'	10 53'29"	205.00'	38.97'
C36	S 15 05'03"W	28.39'	05 34'43"	290.00'	C90	S 62 41'10"W	78.32'	08 30'21"	528.03'	78.39'
C37	S 03 23'14"W	89.44'	17 46'53"	290.00'	C91	S 77 06'56"E	28.08'	89 11'22"	20.00'	31.13'
C38	S 12 54'44"E	74.79'	14 49'04"	290.00'	C92	N 67 07'28"E	177.56'	17 40'12"	578.03'	178.26'
C39	S 23 17'05"E	29.99'	05 55'38"	290.00'	C93	N 31 26'20"E	28.05'	89 02'29"	20.00'	31.00'
C40	S 09 59'09"W	47.73'	37 06'39"	75.00'	C94	S 63 30'02"E	28.00'	89 16'04"	20.00'	31.16'
C41	S 27 40'05"E	49.08'	38 11'50"	75.00'	C95	N 69 07'02"E	94.24'	11 44'25"	460.70'	94.40'
C42	S 65 51'55"E	49.08'	38 11'50"	75.00'	C96	N 36 11'50"E	20.41'	48 11'23"	25.00'	21.03'
C43	N 79 45'26"E	39.53'	30 33'28"	75.00'	C97	S 29 42'29"E	66.67'	276 22'46"	50.00'	241.19'
C44	S 51 03'36"E	39.94'	11 10'47"	205.00'	C98	S 84 23'12"W	20.41'	48 11'23"	25.00'	21.03'
C45	S 30 05'53"E	108.69'	30 44'39"	205.00'	C99	S 66 39'25"W	113.23'	12 43'46"	310.70'	113.46'
C46	S 13 11'17"E	11.01'	03 04'34"	205.00'	C100	S 27 43'02"W	28.43'	90 36'30"	20.00'	31.63'
C47	S 13 56'05"W	35.06'	07 52'58"	255.00'	C101	S 37 05'29"E	156.18'	37 05'29"	185.00'	161.23'
C48	S 00 19'33"W	85.79'	19 22'02"	255.00'	C102	N 72 46'29"E	28.00'	88 50'19"	20.00'	31.01'
C49	S 04 34'50"E	19.99'	05 35'24"	205.00'	C103	N 03 30'47"E	20.41'	48 11'23"	25.00'	21.03'
C50	S 17 22'41"W	148.01'	42 19'27"	205.00'	C104	S 62 23'31"E	66.67'	276 22'46"	50.00'	241.19'
C51	S 58 04'18"W	137.30'	39 07'47"	205.00'	C105	S 51 42'10"W	20.41'	48 11'23"	25.00'	21.03'
C52	S 81 08'56"W	24.87'	06 54'19"	417.72'	C106	S 17 13'31"E	28.57'	91 10'20"	20.00'	31.83'
C53	S 81 10'25"W	50.31'	12 20'41"	417.72'	C107	N 72 05'44"E	28.70'	91 41'31"	20.00'	32.01'
C54	S 71 32'53"W	89.83'	12 20'41"	417.72'	C108	N 17 42'35"E	112.79'	16 54'45"	383.49'	113.20'

T1	N 04 01'29"E	94.71'
T2	N 27 31'45"E	83.28'
T3	N 30 55'55"E	101.16'
T4	S 60 55'08"E	8.34'
T5	S 78 09'48"E	82.08'
T6	S 80 01'27"E	60.03'
T7	S 64 08'06"E	24.57'
T8	S 17 52'33"W	31.94'
T9	N 04 17'27"W	50.00'
T10	S 20 17'27"E	78.00'
T11	S 04 17'27"E	50.00'
T12	S 39 37'27"E	40.47'
T13	N 12 07'27"W	20.00'
T14	N 65 22'33"E	41.19'
T15	N 17 52'33"E	16.63'
T16	S 66 17'24"E	40.92'
T17	S 74 14'22"E	52.86'
T18	S 79 22'30"E	50.44'
T19	S 76 15'04"E	50.06'
T20	S 79 38'16"E	59.56'
T21	N 39 37'27"W	16.36'
T22	S 54 39'00"E	98.98'
T23	S 11 39'00"E	12.75'
T24	S 14 00'00"E	45.00'
T25	S 57 28'45"W	55.00'
T26	S 17 51'00"W	40.57'
T27	S 58 14'01"E	32.84'
T28	N 04 03'56"E	50.00'
T29	S 26 14'58"W	6.62'
T30	N 44 28'02"W	25.00'
T31	N 57 28'45"E	65.00'
T32	S 14 00'00"W	33.55'
T33	S 88 00'00"W	23.65'
T34	S 26 14'58"W	7.37'

- NOTES
1. THESE LOTS ARE SUBJECT TO THE ONSLOW COUNTY FLOOD DAMAGE PREVENTION ORDINANCE. FIRM DATE (07/02/87) INDICATE A BASE FLOOD ELEVATION OF 8'. ALL INTERESTED PARTIES MUST DOCUMENT ELEVATION REQUIREMENTS FOR BUILDING PURPOSES.
 2. AREA WITHIN THE 40' A.E.C. LINE SUBJECT TO DIVISION OF COASTAL MANAGEMENT REGULATIONS. ALL AFFECTED PROPERTY OWNERS TO CONTACT DIVISION OF COASTAL MANAGEMENT CENTRAL SECTION, MOREHEAD CITY, NORTH CAROLINA REGARDING DEVELOPMENT GUIDELINES.
 3. 404 WETLAND AREA ARE SUBJECT TO PERMITTING TO REGULATE THE DISCHARGE OF DREDGE AND FILL MATERIALS. AFFECTED PROPERTY OWNERS SHOULD CONTACT THE CORPS OF ENGINEERS, REGULATORY BRANCH, WILMINGTON, NORTH CAROLINA DISTRICT REGARDING DEVELOPMENT GUIDELINES.
 4. ALL ROADS WILL BE DESIGNED WITHIN 50' RIGHT-OF-WAYS WITH 20' OF PAVED SURFACE AREA AND PRIVATELY MAINTAINED.
 5. ALL WETLANDS LOCATIONS, TOPOGRAPHIC DATA, AND LAYOUT WAS TAKEN FROM INFORMATION FURNISHED BY OWNER.

NOTE: MINIMUM BUILDING SETBACKS
 FRONT - 20'
 BACK - 20'
 SIDE - 10' COMBINED

LEGEND
 ● = EXISTING IRON STAKE
 ○ = SET IRON STAKE
 ■ = CONCRETE MONUMENT
 C/A = COMMON AREA
 ST = SIGHT TRIANGLE
 D&UE = DRAINAGE & UTILITY EASEMENT
 BA&D.E. = BUFFER, ACCESS, & DRAINAGE EASEMENT

OWNER & DEVELOPER
 CEPCO, INC.
 P.O. BOX 858
 SNEADS FERRY, NC 28460
 919-327-3737

ESCOBA BAY - SECTION IV
 (SHEET 2 OF 2)

