



Town of Beaufort, NC
 701 Front St. P. O. Box 390 - Beaufort, N.C. 28516
 252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Board of Commissioners
 Regular Meeting
 6:00 PM Monday, May 11, 2026
 Train Depot, 614 Broad Street**

New Business

- [1.](#) Voluntary Annexation Applications: 374 Highway 101, 388 Highway 101, and 404 Highway 101 E. Lewis
- [2.](#) PFAS Class Action Lawsuit A. Grady

Manager Report

Mayor/Commissioner Comments

Adjourn

Call to Order/Pledge of Allegiance

Roll Call

Agenda Approval

Welcome New Employees

- 1. Matthew Pendergraph, Fire Chief M. Zapp
- 2. Griff Barlow, Public Information Specialist E. Lewis

Items of Consent

- [1.](#) Meeting Minutes: April 13 & 27, 2026
- [2.](#) SeafoodFestival 8K Road Race Application 10.03.26
- [3.](#) BeaufortLions Club Bridge Run Application 11.07.26

Presentations

- [1.](#) ResultsofLynn EuryPark Community Input Sessions J. Welborn
- [2.](#) ProposedFY 2027Budget M. Zapp

Quasi-Judicial Proceeding

- [1.](#) Case #26-06 SpecialUse Permit: Minuteman Gas Station 110 Towns Drive M. Eitner
- [2.](#) Case #26-08 Special Use Permit: BeaufortBar Outdoor Operation at 410 Live Oak Street M. Eitner

Public Hearing

- [1.](#) Case #26-09: 100 Cedar Street Rezoning B-1 to CS-MU K. Garner

Public Comment

Old Business

- [1.](#) Live Oak Trees: Located at 123-127 Front Street M. Zapp



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**Board of Commissioners
 Regular Meeting
 6:00 PM Monday, May 11, 2026**

AGENDA CATEGORY: Quasi-Judicial Proceeding
SUBJECT: Case #26-06 Special Use Permit: Minuteman Gas Station 110 Towns Drive

BRIEF SUMMARY:
 Approve or deny the proposed Special Use Permit (SUP) for a gas station at 110 Towns Drive.

REQUESTED ACTION:
 Conduct Quasi-Judicial Hearing
 Decision based on Required Findings
 Decision on Special Use Permit

EXPECTED LENGTH OF PRESENTATION:
 30 Minutes

SUBMITTED BY:
 Michelle Eitner
 Town Planner

BUDGET AMENDMENT REQUIRED:
 N/A



STAFF REPORT



To: Board of Commissioners
From: Michelle Eitner, Town Planner
Date: May 11, 2026
Case No.: 26-06 Special Use Permit – Minuteman Gas Station 110 Towns Drive

THE REQUEST: Approve or deny the proposed Special Use Permit (SUP) for a gas station at 110 Towns Drive.

INFORMATION:
Location: 110 Towns Drive (NW corner of Live Oak Street & Towns Drive)
Property Owner: CGW Inc (4C Development LLC under contract)
Applicant: Rhetson Companies Inc
Zoning District: B-1 General Business District
Flood Zone: X (in preliminary and effective FIRMs)
LUP Future Land Use: Commercial Center (no Non-Intensification Zone overlay)
Size: 3.76 acres
Existing Land Use: Undeveloped
Proposed Land Use: Gas station (Minuteman convenience store with fuel sales and a quick service/drive-through restaurant, with automatic car wash)
Adjoining Uses/Zoning: North & East: Food Lion Shopping Center and Realo Drug (B-1)
 West: Townhouse development “1809 Live Oak” (TCA)
 South (Across Towns Dr): Undeveloped (B-1)
 South & East (Across Live Oak St): Multiple B-1 lots - Undeveloped, “The Wash” automatic and self-service car wash, and Slicks Tinting & Auto Center
Utilities: Water and wastewater provided by Town

OPTIONS:
 1. Approve the special use permit as presented
 2. Approve the special use permit with conditions to bring the proposal into compliance with the Required Findings
 3. Deny the special use permit based on specific failures to meet requirements
 4. Table the request pending additional information necessary to make a decision

EXHIBITS:

- Exhibit A – Staff Report
- Exhibit B – Vicinity Map
- Exhibit C – Zoning Map
- Exhibit D – Application Package
- Exhibit E – LDO Section 20 Special Use Permits (Especially Section 20.E.1 Required Findings)
- Exhibit F – LDO Section 9.C.B-1 General Business District
- Exhibit G – Comprehensive and CAMA Land Use Plan Future Land Use Map & Classification
- Exhibit H – Notification Certification

STAFF COMMENTS:

1. Site 10S Stewart with Rhetsom Companies has applied for a Special Use Permit to establish a gas station on Towns Drive. Rhetsom is representing 4C Development, LLC, which is under contract to purchase the property from current property owner CGW, Inc.

The subject property is located between Live Oak Street, newly constructed Towns Drive, the new "1809 Live Oak" townhouse development, and the Food Lion shopping center/Realo Drugstore. This property was historically farmland through the 90s and has been forested (undeveloped) for the past twenty years or so (based on aerial imagery). The gas station development proposal includes a convenience store with indoor quick-service/drive-through restaurant, fuel pump canopy, and automatic tunnel car wash. "Minuteman" is the brand for the whole development, which will include a gas tenant and a fast-food tenant (neither of which are known at this time). While convenience stores, indoor restaurants, and car washes (accessory uses of this project) are permitted by-right in the B-1 zoning district, the principal use of the proposed development is gas station, which requires a special use permit in any zoning district in Beaufort.

There are 26 parking spaces shown on the plan, which exceeds the 17 spaces required for the project, as well as a dedicated truck loading/unloading space behind the building. The traffic circulation is sufficient to support large delivery vehicles, fuel trucks, and emergency vehicles. The dumpster enclosure at the back of the property meets requirements for refuse disposal. The required landscaping for the project includes Type A buffering along the western property line (between gas station and townhouses), VAA (parking lot) landscaping, and stormwater pond landscaping.

The project does not require a NCDOT driveway permit because it has only one point of ingress/egress off Towns Drive (not on Live Oak or through adjacent parking lots). The developers coordinated with NCDOT during site design and were required to propose plans to extend the newly created right-turn-lane along Live Oak Street. This will better accommodate stacking of vehicles turning onto Towns which would access the proposed gas station as well as the "1809 Live Oak" townhouse development currently under construction.

Staff did not require sidewalks for this site plan because the Town's bicycle/pedestrian plan does not identify them for this side of Live Oak Street. Upcoming improvements by NCDOT for the Live Oak corridor are anticipated to include sidewalks on both sides of the street along with bike lanes and medians.

While the stormwater and sedimentation/erosion control plans are subject to NCDEQ review and permitting, it bears noting that this development is held to higher standards due to the proximity of the project within 1/2 mile to SA/HQW tidal salt waters (Gibbs Creek). Similarly permitted commercial projects include State Employees Credit Union, Taco Bell, and McDonalds.

This project is located entirely in the X flood zone (current and future flood maps), so no additional site design or construction standards apply with regard to the Town's Flood Damage Prevention Ordinance ([link here](#)).

The building is also proposed to be served by a backup generator. These resilience efforts (upland location and backup energy source) are consistent with guidance Beaufort's Comprehensive and CAMA Land Use Plan (esp. p196-199, [link here](#)) and Resilient Beaufort plan (esp. p17, [link here](#)).

The Future Land Use Map of the LUP identifies this location as Commercial Center, which is described as "These areas have large-scale non-residential uses that serve the entire community and larger region." A second gas station would serve the entire community and larger region, especially in emergency situations such as hurricanes when fuel is scarce.

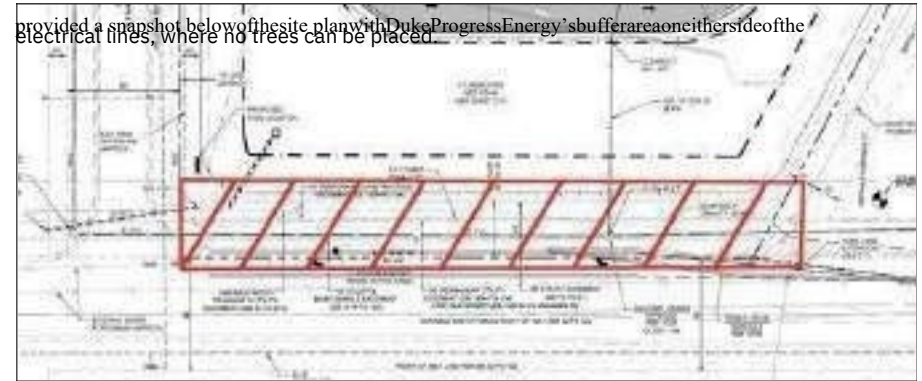
The Technical Review Committee met on February 27th to review the project. Comments and requests for clarifications or revisions were provided by Planning, Public Works, Utilities, and

were addressed in revised submissions received the following week and approved by those that had the comments/requests. The plan appears to be compliant with applicable regulations at this time.

The Planning Board discussed this application at their April 20, 2026 meeting and unanimously recommended approval of this application given, "in the front, a black vinyl coated fence, and the maintenance plan for the landscape and pond area."

The large trees were not required along the front of the property (street trees) due to over head electrical wires in that area (LDO Section 14.D.7). The applicant

Regarding Planning Board's proposed considerations:



The black vinyl coated fence requested by Planning Board is already proposed detailed on site plan sheet D- 1 (required under LDO Section 15.E.3 & reviewed in TRC).

The stormwater wet pond and associated permitted work is subject to NC DEQ's water quality rules ([linked here](#)) and Stormwater Design Manual ([linked here](#)), which prescribes operations and maintenance of permitted Stormwater Control Measures (SCMs) like a wet pond. This project, like most of the larger projects in town, is subject to DEQ permitting, construction, maintenance, and reporting rules. The applicant does not have a separate maintenance plan from what DEQ requires. Additionally, the Town has enforcement procedures for landscaping installation and maintenance under LDO Sections 15 and 19 and for nuisance/overgrown vegetation/grass under Town Code of Ordinance Title IX Article V Section 91.65.

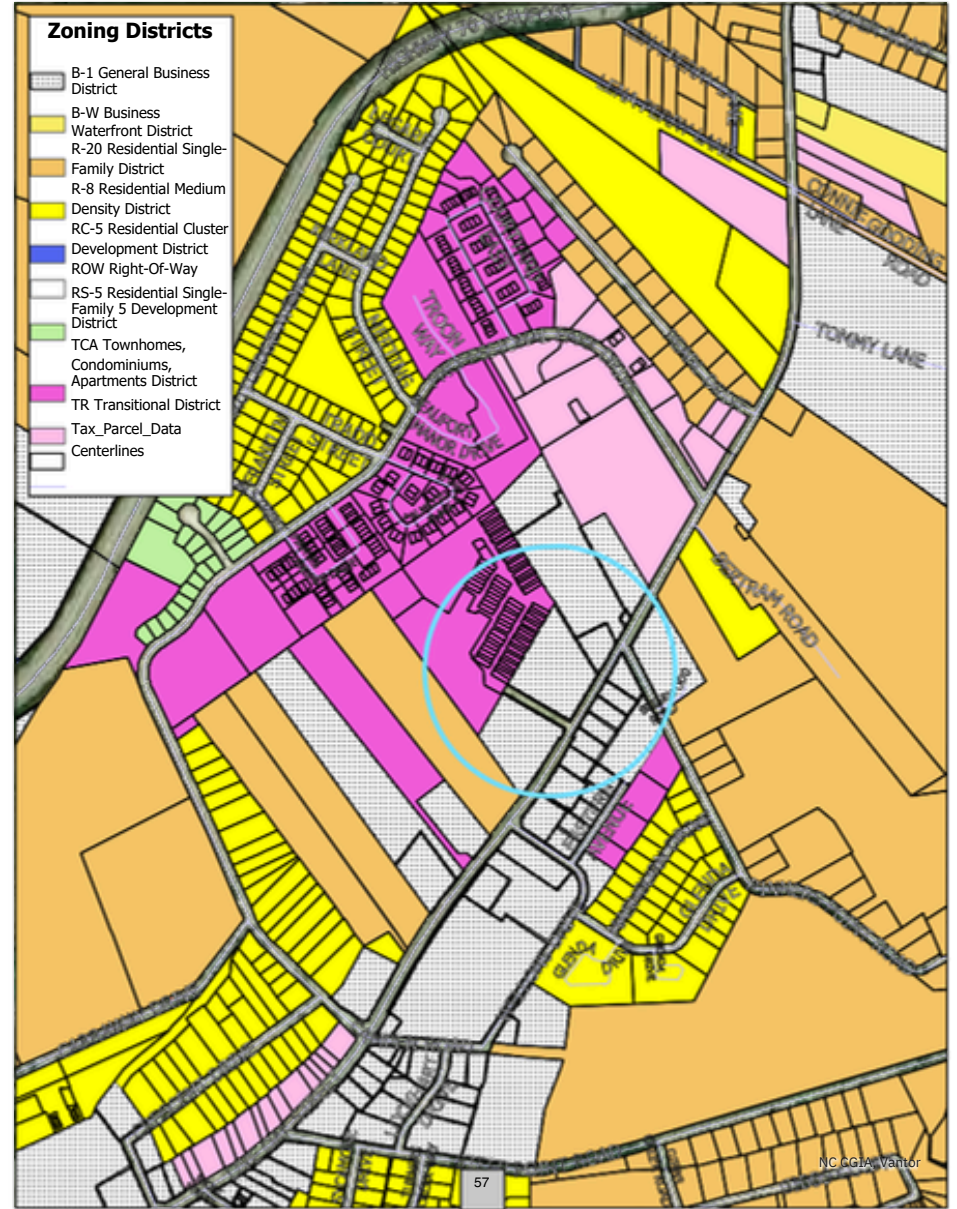
Case 26-06 SUP Minuteman Gas Station 110 Towns Drive
Vicinity Map

1.



Case 26-06 SUP Minuteman Gas Station 110 Towns Drive
Zoning Map

1.



Rhetson Companies, Inc

Town of Beaufort, NC

- Request for Special Use Perm - it

Parcel ID Number: 730612967426000

110 Towns Drive, Beaufort, NC 28516

Requesting approval for a Special Use Permit to build a Minuteman convenience store with fuel sales, a quick service restaurant, and a tunnel car wash at the specified address. The 3.76-acre property is designated as B-1 zoning and is located within the Live Oak Street District. The proposed development's combined uses qualify it as a Special Use under the current zoning classification and overlay guidelines. Rhetson Companies, Inc, respectfully submits this application, along with all accompanying materials, and acknowledges the value of the expert testimony expected during the quasi-judicial meeting proceedings.

Comments in Support of Findings Required

Rhetson considered the findings below required per Section 20 of the Land Development Ordinance:

a) The proposed use is an allowable special use in the zoning district it is being located within; 110 Towns Drive is located in the B-1 District. A Convenience Store, Restaurant with Drive-Thru Service, Car Wash are permitted uses, by-right. A Gas/Service Station are allowable with a Special Use Permit.

b) The application is complete;
The application has been reviewed with Town Staff and is believed to be complete.

c) The location and character of the use will be in conformity with the Town's Comprehensive and CAMA Land Use Plan and other comprehensive planning elements;
The proposed site design is consistent with the Comprehensive and CAMA Land Use Plans. Based upon Town of Beaufort Comprehensive and CAMA Land Use Plan's Future Land Use Map, the subject property is designated for a future land use of "Commercial Center". The Commercial Center description details that these areas will have large-scale, non-residential uses that serve the entire community and larger region.

d) Streets, driveways, parking lots, traffic control, and any other traffic circulation features shall be designed and provided in accordance with current traffic engineering standards and Town regulations

and found to be adequate for the proposed special use;
The proposed site design of the streets, driveways, parking lots, traffic control, and any other traffic circulation features have been designed in accordance with the Town of Beaufort regulations and codes, as well as to NCDOT standards. Access to the site will be made from Towns Drive, as the lower classification road than L Oak Street (SR 1493 & US Highway 70). Towns Drive has been newly constructed with a right-turn lane off Live Oak Street. Summit Design and Engineering Services have had conversations with NCDOT on the proposed use, and based upon those discussions, NCDOT will be requiring the addition of 75' of storage area and 50' of taper to the newly construction turn lane. This makes the turn lane a total of 225' with 150' of taper. The proposed turn lane and improvements are shown on the site plan.

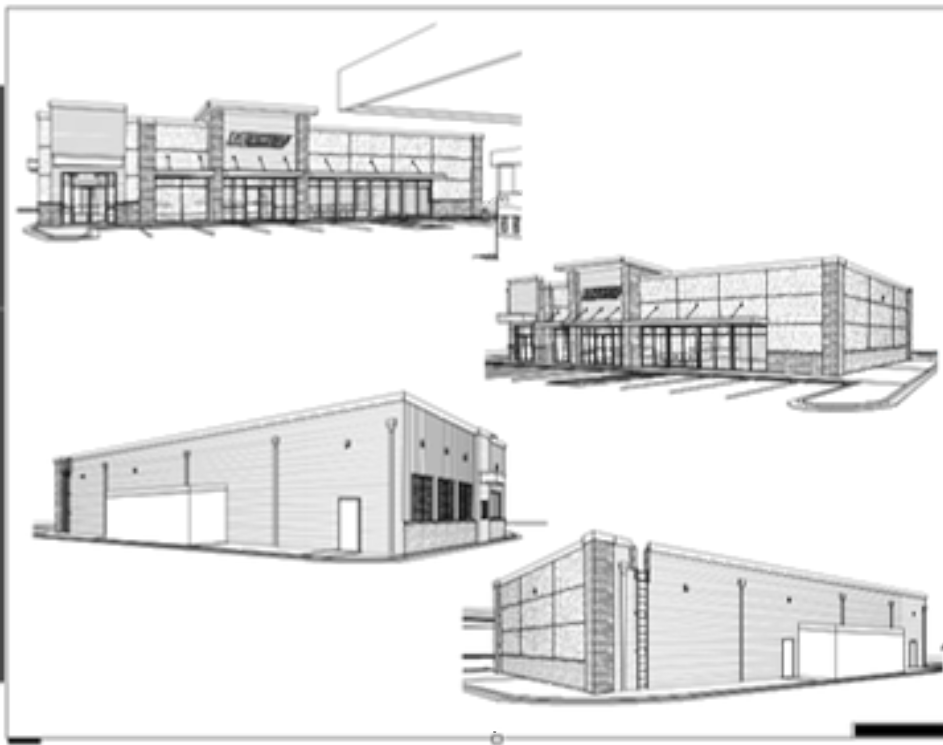
e) The proposed special use will not substantially injure the value of adjoining or abutting properties;
The improvements of this parcel will not reduce the value of adjoining and/or abutting properties. In Beaufort, NC appears to only have one (1) gas station(s) within town limits, which is insufficient to meet community needs, particular in times of inclement weather and/or crisis.

f) The proposed special use will be compatible and in harmony with adjoining land uses and the development patterns of the immediate area; and, The proposed Gas Service Station and Car Wash have been designed to be compatible with the adjoining land uses and development patterns of the immediate area in that the proposed site is of a similar commercial use to the neighboring parcels and parcels in the immediate area. These developments in the immediate area include a prescription drug store/pharmacy, grocery store, nail salon, post office, bank/credit union, automotive service, car wash, gas station, retail store, and fast-food restaurant. Additionally, the proposed special use is compatible and is an allowable special use of the B-1 district which the parcel is zoned and is compatible with the future land use designation of "Commercial Center" in the Town of Beaufort Comprehensive and CAMA Land Use Plan.

g) The proposed use will not materially endanger the public health or safety of the community if located where proposed and developed according to the submitted and approved plan. The proposed Gas Service Station and Car Wash are readily accessible from Towns Drive directly off Live Oak Street (SR 1493 & US Highway 70) for emergency and fire department access. The uses are allowed as by-right or Special Uses under the B-1 District per the Town of Beaufort, NC Land Development Ordinance, and are compatible with the Town of Beaufort Comprehensive and CAMA Land Use Plans. Additionally, the information regarding NCDOT correspondence on site plan design, further the mitigation of public health and safety and are referenced in subsection "d)."

ARCHITECTURAL ELEVATION EXAMPLES

Renderings & Elevations of all uses for this project to be submitted when finalized



*Note: Not an identical prototype design to what is being proposed in Detail. All the same elements, square footage, remain the same, but this new store will be a mirror layout of these elevations.

Architectural elevations of a building. The top drawing is the front elevation, showing a sign and a gabled roof. The middle drawing is the back elevation, showing a large bay door and a gabled roof. The bottom left drawing is the left side elevation, and the bottom right drawing is the right side elevation. Both side elevations show a gabled roof and a bay door. The drawings include callouts for materials and components.

FINISH SCHEDULE

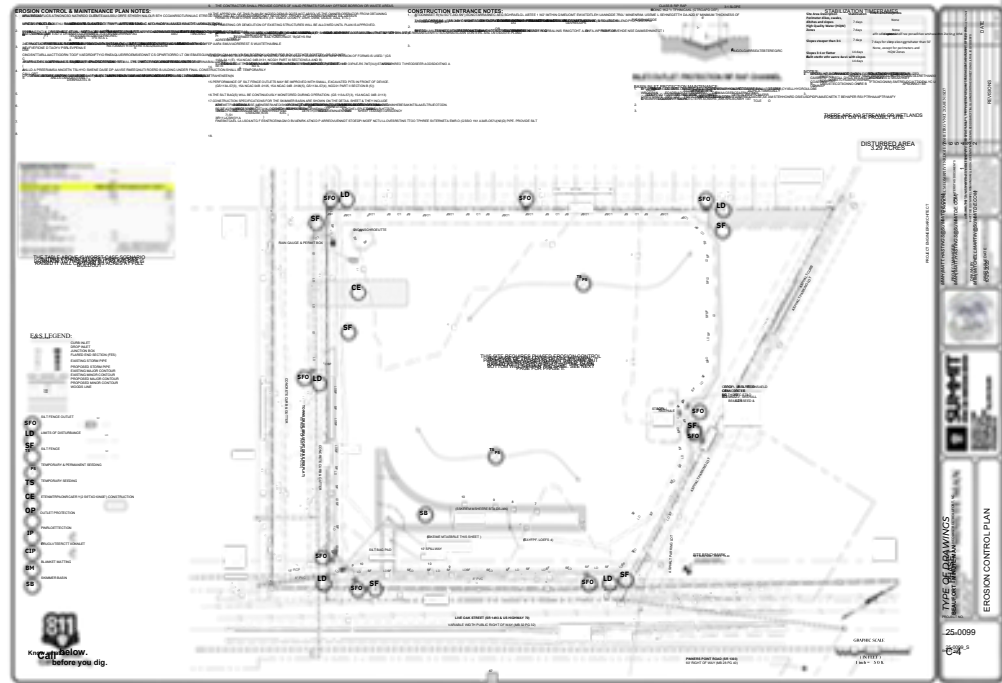
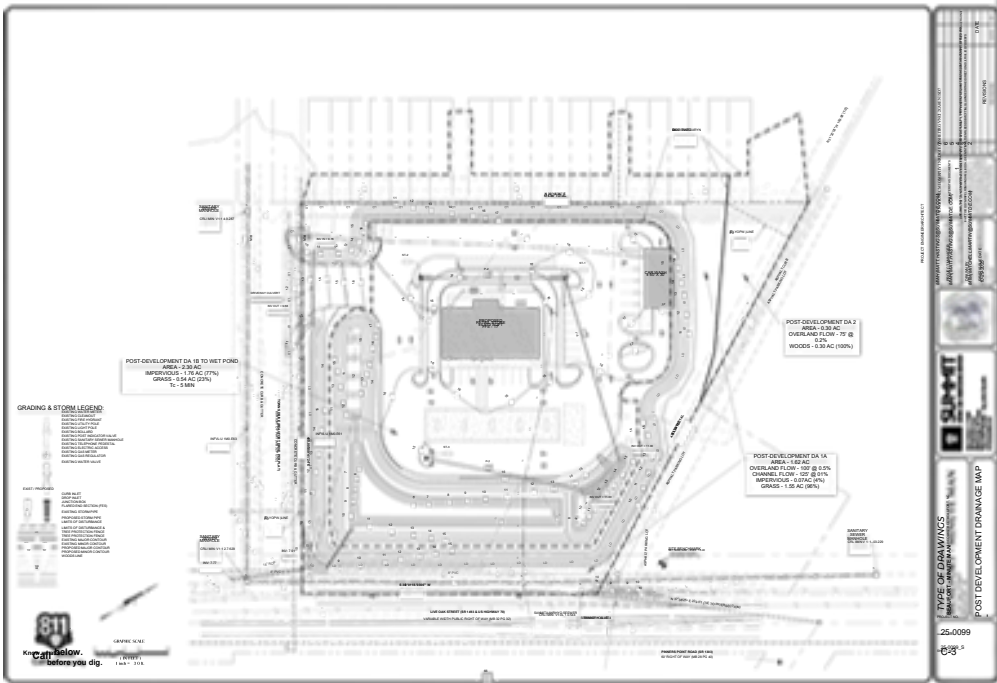
NO.	DESCRIPTION	FINISH
1	EXTERIOR WALLS	BRICK
2	EXTERIOR ROOF	ASPH/FLT
3	EXTERIOR FLOOR	CONCRETE
4	EXTERIOR CEILING	CONCRETE
5	EXTERIOR DOORS	STEEL
6	EXTERIOR WINDOWS	ALUMINUM
7	EXTERIOR SIGNAGE	ALUMINUM
8	EXTERIOR LIGHTING	ALUMINUM
9	EXTERIOR PAINT	WHITE
10	EXTERIOR TRIM	BRICK

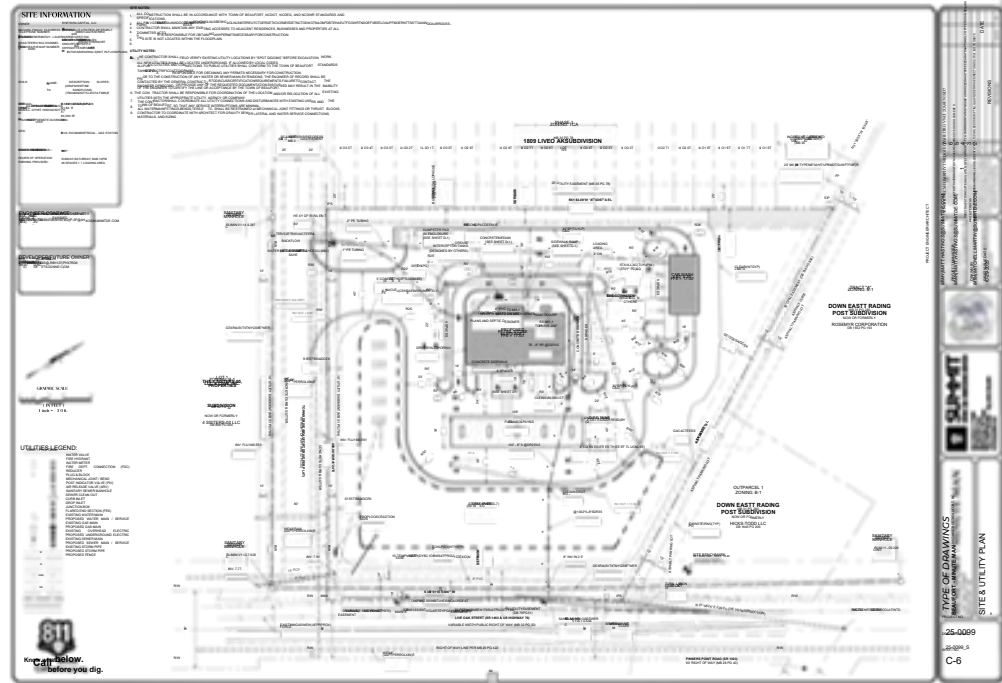
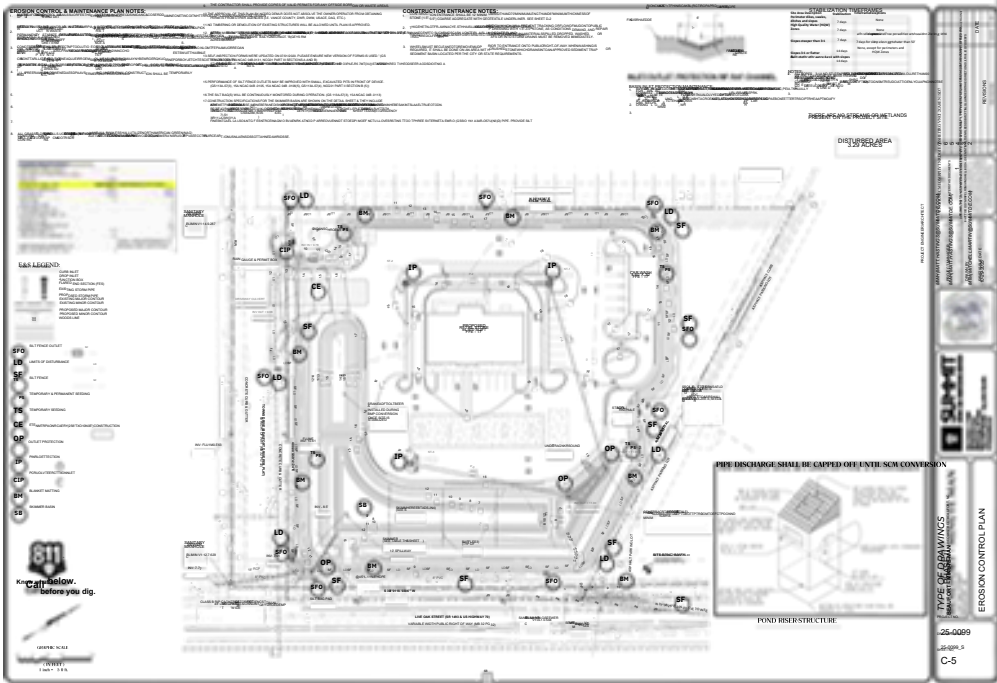
CODED NOTES

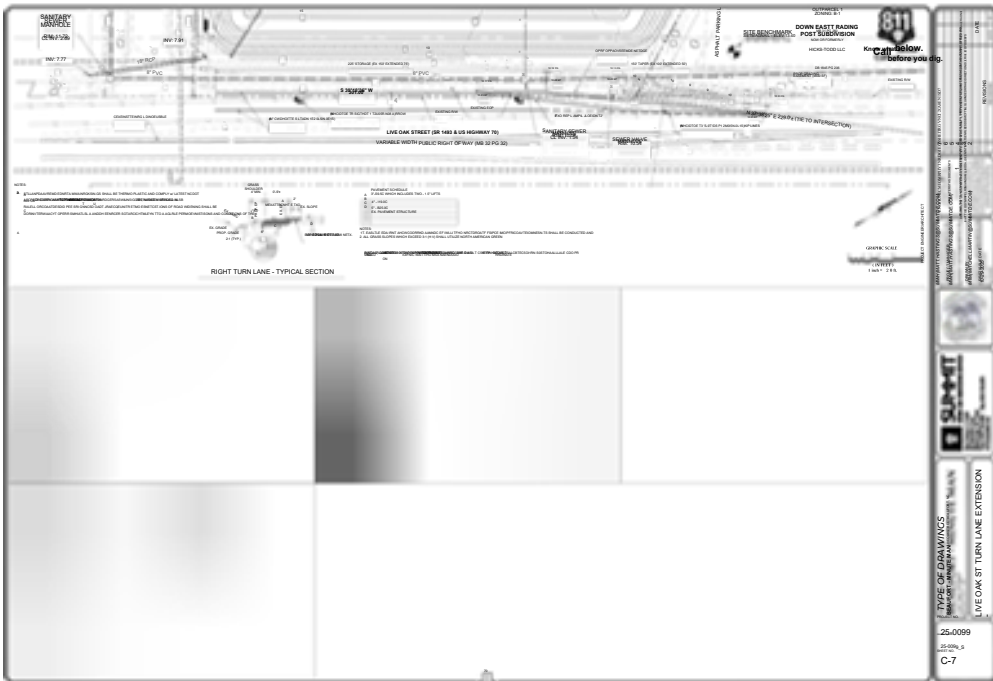
1. EXTERIOR WALLS
2. EXTERIOR ROOF
3. EXTERIOR FLOOR
4. EXTERIOR CEILING
5. EXTERIOR DOORS
6. EXTERIOR WINDOWS
7. EXTERIOR SIGNAGE
8. EXTERIOR LIGHTING
9. EXTERIOR PAINT
10. EXTERIOR TRIM

FOR CONSTRUCTION

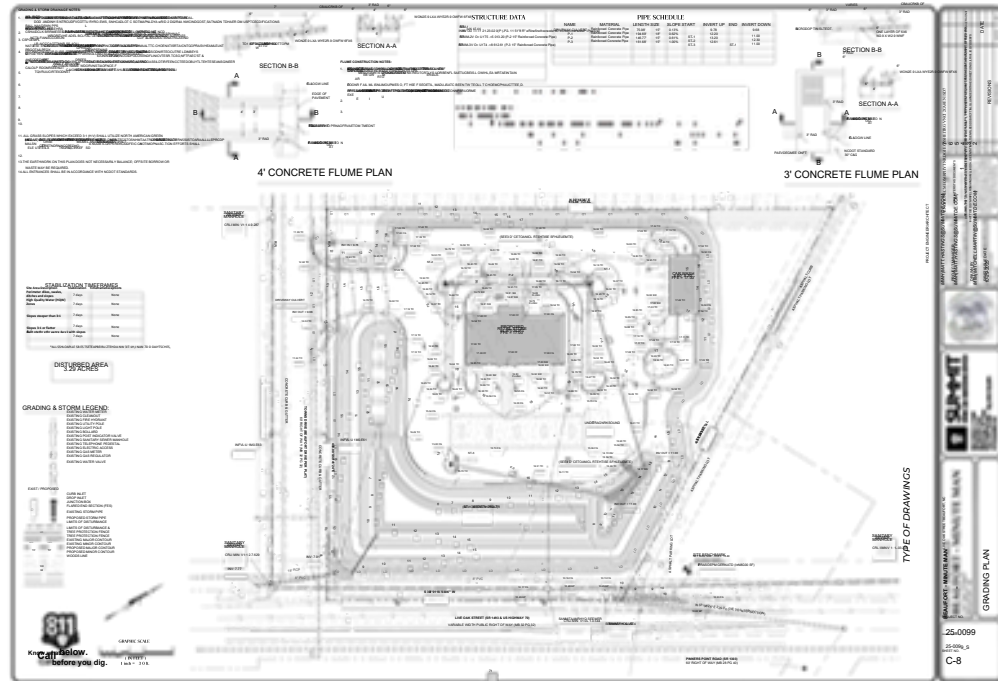
CONSTRUCTION DOCUMENTS







811
 Call before you dig.
 TYPE OF DRAWINGS
 LIVE OAK ST TURN LANE EXTENSION
 25.0099
 C-7



811
 Call before you dig.
 TYPE OF DRAWINGS
 GRADING PLAN
 25.0099
 C-8

GENERAL LANDSCAPING NOTES

PLANTING SCHEDULE

Plant Name	Quantity	Notes
...

NATURAL BUFFER FOREST

LANDSCAPING LEGEND

UTILITIES LEGEND

LAND PRIMER PLANT CALCULATION

SHRUB PLANTING DETAIL

TREE PLANTING AND STAKING DETAIL

GENERAL NOTES

DATE: 25.0099

PROJECT: ...

LANDSCAPING PLAN

SCALE: 1" = 10'

811 before you dig

LANDSCAPING PLAN

SCALE: 1" = 10'

DATE: 25.0099

PROJECT: ...

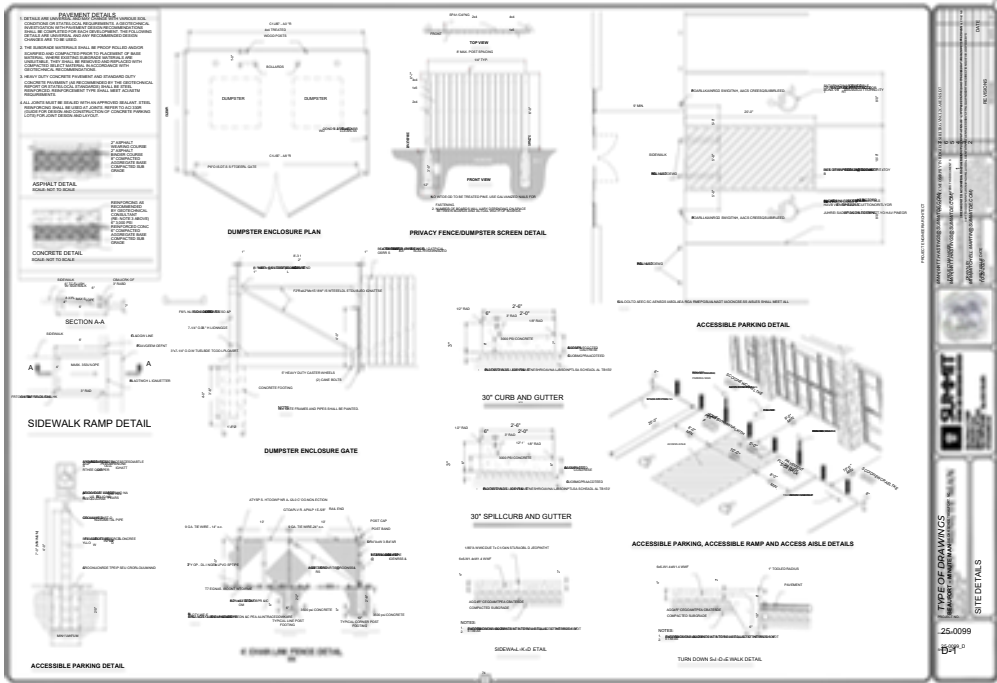
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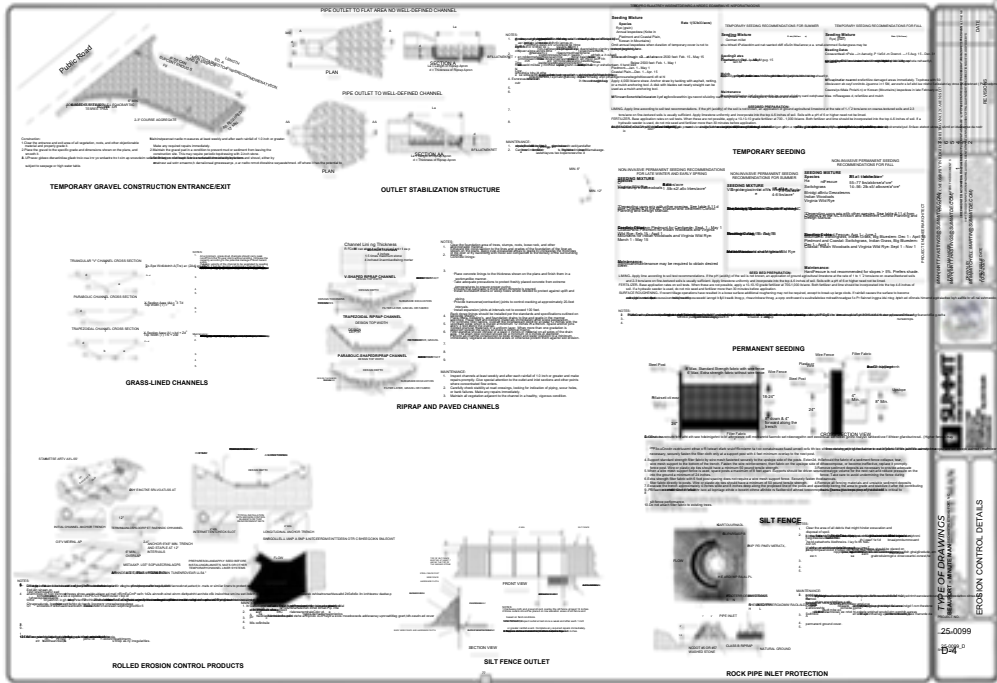
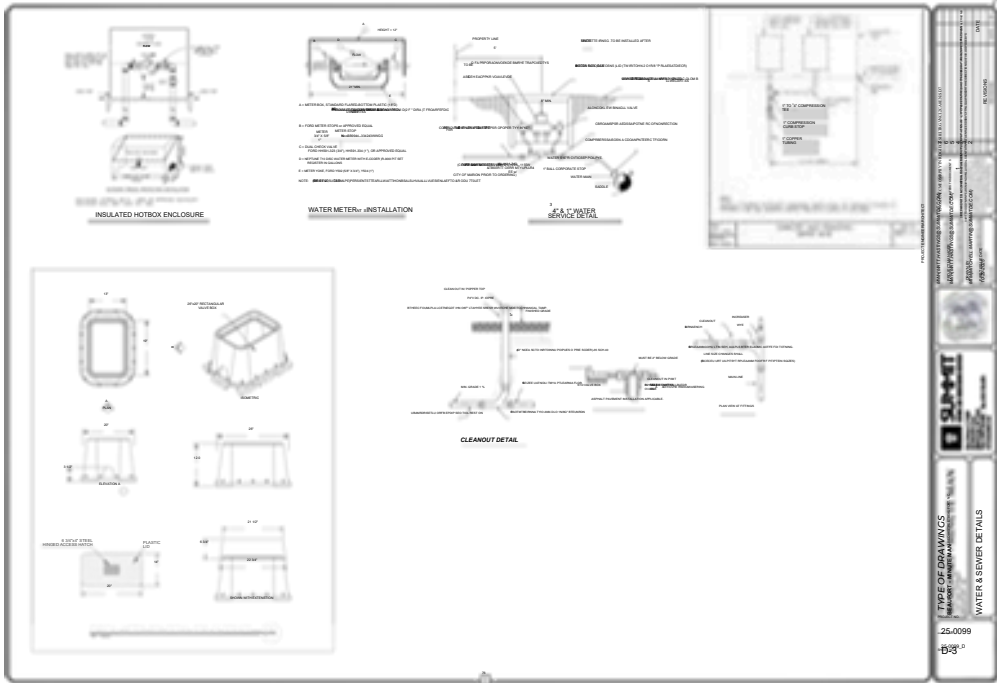
TRUCK TRACKING PLAN

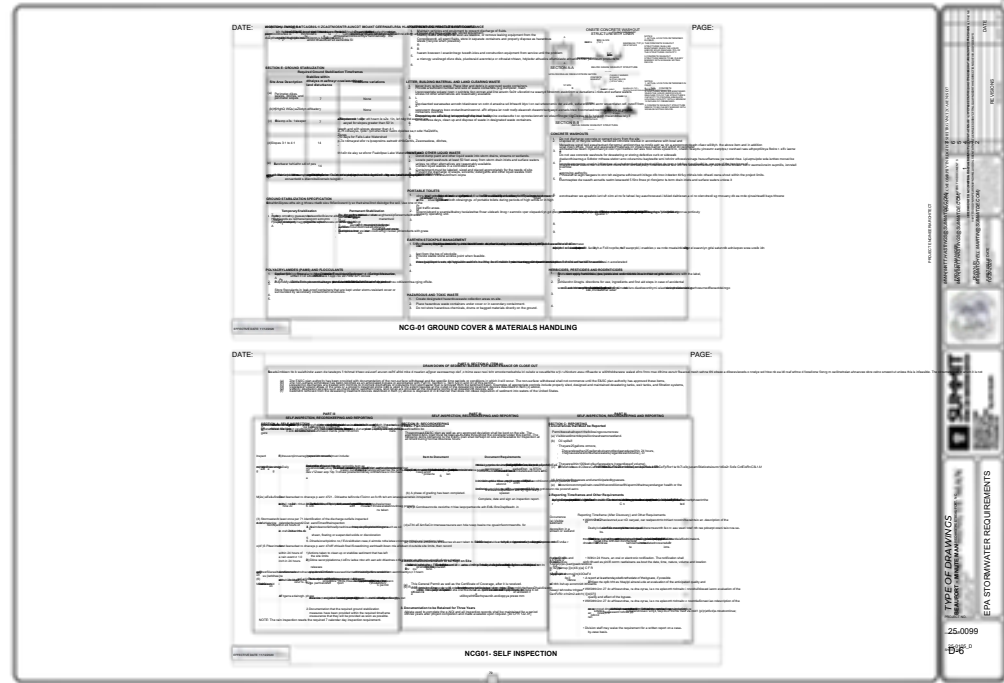
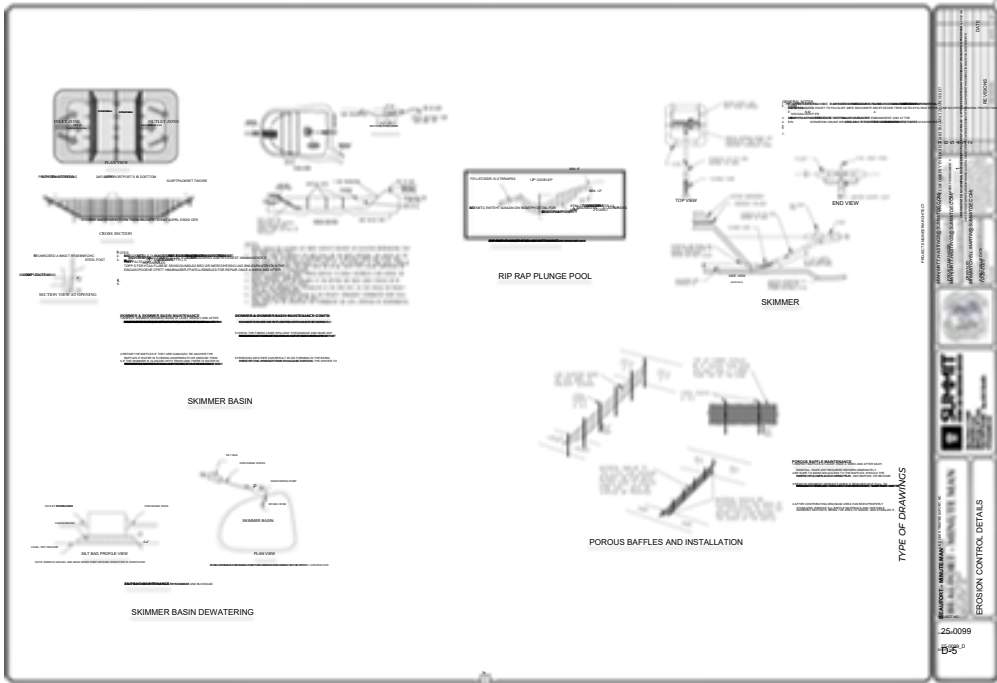
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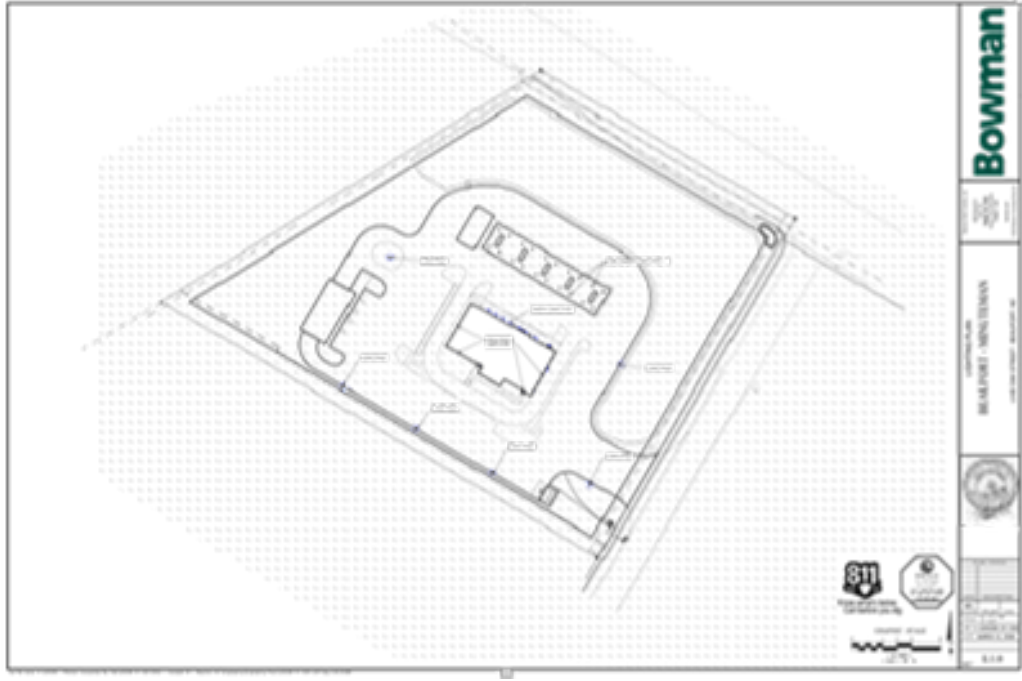
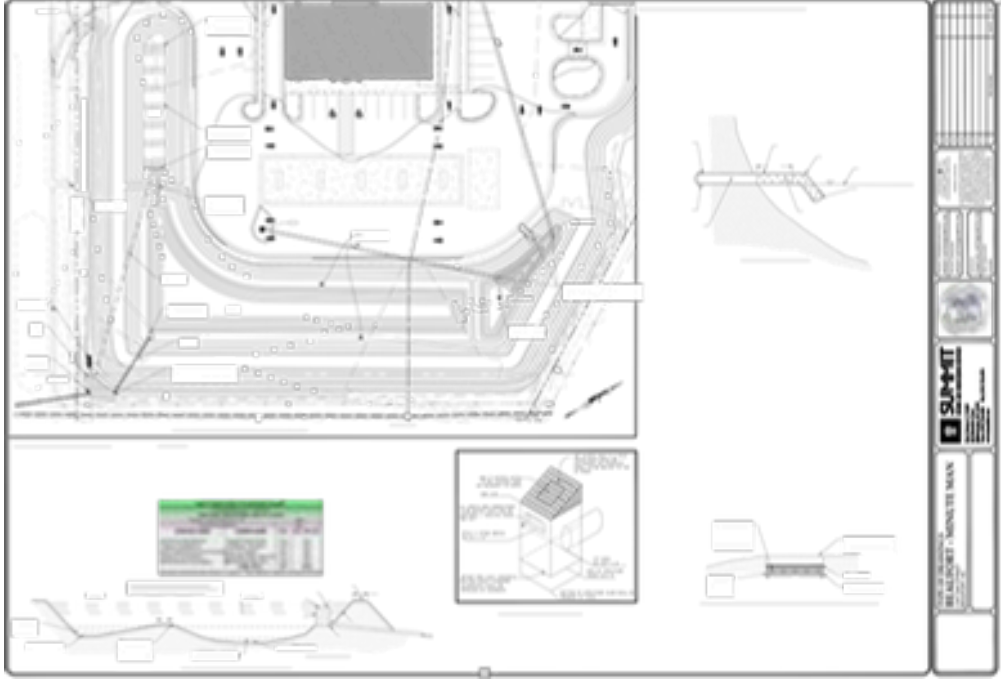
DATE: 25.0099

PROJECT: ...









Scottsdale® Legacy (CRUS) LED Canopy Luminaire

Have questions? Call us at (800) 436-7800

Type: 1.

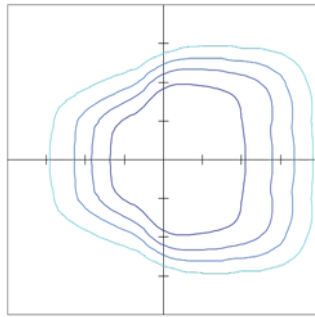
PHOTOMETRICS

CRUS-SCFT-SS-50

[Back to Quick Links](#)

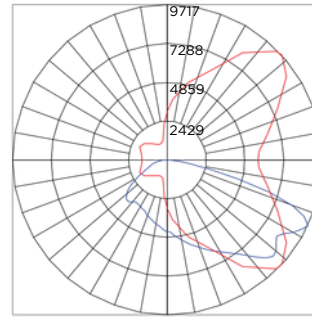
Luminaire Data	
Type 5 Distribution	
Description	5000 Kelvin, 80 CRI
Delivered Lumens	13,980
Watts	95
Efficacy	150
IES Type	Type VS - Very Short
BUG Rating	B3-U10-G3

ISO Footcandle



10' Mounting Height / 10' Grid Spacing
■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

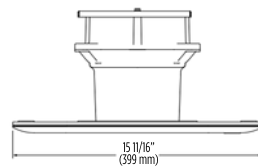
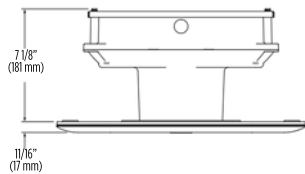
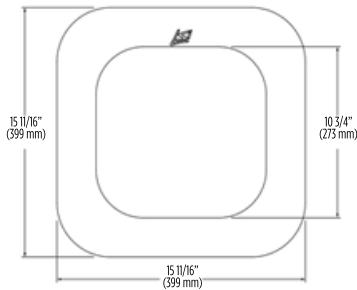
Polar Curve



■ Vertical Plane ■ Horizontal Cone

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	2,397.7	10.30%
Medium (30-60°)	8,658.8	37.20%
High (60-90°)	4,914.2	21.10%
Very High (90-180°)	2,257	1.90%
Uplight (90-180°)	0	0%
Total Flux	23,269.3	100%

PRODUCT DIMENSIONS



LED Wall Pack - 7,700 Lumens

1.



[More Images](#)

MODEL NO.	DIMENSIONS W x H	WATTS	LUMENS
H-9996	14 x 7 1/2 x 9 1/2"	76	7,700

- 2) Whenever an application is submitted for a special use permit in a residential zone, the applicant shall also include:
 - a) A narrative which illustrates the appropriateness of the proposed use in a residential zone. This narrative shall also describe all the architectural design features which make the proposed use and associated building compatible with the urban character of the residential neighborhood;
 - b) The submitted site plan shall also include all street front architectural elevation drawings to ensure the compatibility of the building(s) with the surrounding residential structures; and,
 - c) Additionally, the BOC and Town staff may require a professional rendering or any other graphic illustration of the proposed structure.
- 3) The application shall be reviewed by Town staff and submitted with comments and recommendation to the Planning Board for review. The Planning Board shall review the application for a special use permit and make a recommendation as to whether it should be approved or denied. After the Planning Board makes its recommendation, the application shall be forwarded to the BOC for consideration.
- C) **Quasi-Judicial Proceeding Notification Requirements.**
The Planning Board will review and make recommendations regarding all applications for a special use permit. The BOC shall schedule a quasi-judicial proceeding for the application and BOC consideration after reasonable opportunity for staff and Planning Board review. In considering the application, the BOC shall follow the procedures set forth in Section 32, Quasi-Judicial Procedure.
- D) **Procedures on Special Use Applications.**
In considering whether to approve an application for a special use permit, the BOC shall proceed as follows:
 - 1) The BOC shall conduct an evidentiary hearing in accordance with the provisions of Section 32, Quasi-Judicial Procedure, herein. And consider relevant information regarding whether the required findings under Section 20(E) exist and whether the special use is appropriate in the proposed location.
 - 2) The BOC shall consider whether the application complies with each individual required finding specified in Section 20(E). The BOC need not make the required findings at the time of the hearing and may vote to table the matter and request information if needed. If the special use permit application is approved, the BOC motion shall contain language showing all the required findings under Section 20(E) have been met, and in the absence of specific findings, it shall be conclusively presumed the application complies with all the findings in Section 20(E).
 - 3) The BOC shall render a decision within a reasonable period of time not to exceed ninety days after holding the evidentiary hearing for the proposed special use application. The BOC need not issue a decision at the time of the hearing if additional information is needed and may table the matter until a later date.
 - 4) If the application is found not to be in compliance with one or more of the required findings of Section 20(E) or any other applicable section of this Ordinance, the application shall be denied. Such motion shall specify the particular findings the application fails to meet.

- 5) Notwithstanding the specific requirements of this Ordinance, the BOC may impose additional conditions and reasonable requirements upon the requested special use permit in order to ensure the use is consistent with the required findings as specified under Section 20(E).
- 6) The BOC shall render its decision on the special use permit application, in writing, in accordance with the provisions of Section 32 herein.
- E) **Required Findings.**
 - 1) In addition to any other findings or requirements as specified by any other section of this Ordinance, before any application for a special use may be granted or denied, the BOC shall make each of the following findings:
 - a) The proposed use is an allowable special use in the zoning district it is being located within;
 - b) The application is complete;
 - c) The location and character of the use will be in conformity with the Town's Comprehensive Plan and CAMA Land Use Plan and other comprehensive planning elements;
 - d) Streets, driveways, parking lots, traffic control, and any other traffic circulation features shall be designed and provided in accordance with current traffic engineering standards and Town regulations and found to be adequate;
 - e) The proposed use will not materially endanger the public health or safety of the community if located where proposed and developed according to the submitted and approved site plan;
 - f) The proposed special use will be compatible and in harmony with adjoining land uses and the development patterns of the immediate area; and,
 - g) The proposed use will not materially endanger the public health or safety of the community if located where proposed and developed according to the submitted and approved site plan.
 - 2) The BOC shall make its findings based on "competent, material and substantial evidence" as described in N.C. Gen. Stat. §160D-406 in accordance with the procedures set forth in Section 32 herein.
 - 3) **Compatibility Standards for Special Uses in Residential Zones:**
In order to determine if a proposed special use in a residential zone will be compatible with the adjoining buildings, the BOC shall review said proposal in reference to the following architectural elements:
 - a) Size (footprint);
 - b) Height;
 - c) Proportion and scale;
 - d) Roof shape(s);
 - e) Setbacks;
 - f) Location, size, and number of openings (doors and windows);
 - g) Materials;
 - h)) Color; and,

C) **B-1 General Business District.**

The General Business Districts established as the zoning district in which a wide variety of sales and service facilities may be provided to the general public. This district will be located throughout the Town's planning and development regulation jurisdiction.

1) **Minimum Lot Area.** Minimum lot area in the B-1 district shall be a minimum of five thousand square feet (5,000 ft²).

2) **Minimum Lot Width.** All lots in the B-1 district shall have a minimum lot width of sixty feet (60') at the minimum.

3) **Building Setback and Building Height Requirements and Limitations.**

Subject to the exceptions allowed in this Ordinance, each structure on a lot in this zoning district shall be set back from the boundary lines of the lot at least the distances provided in the tables set forth in this section. The building height limitation in this district is provided in the tables set forth in this section.

Table 9-5 Lot Requirements

District	Front Setback (Right of Way)	Rear Setback	Side Setback	Building Height Limitation
B-1	30 feet	15 feet	15 feet	40 feet

4) **Accessory Building Setback Requirements.**

All accessory buildings shall comply with all setback provisions of this Ordinance, including but not limited to Section 2(F), Section 6 and Section 15 of this Ordinance.

5) **Permitted Uses.**

- | | |
|--|--|
| Amusement Establishment | Liquor Store |
| Antenna Co-Location on Existing Tower | Moped/Golf Cart Sales/Rentals |
| Aquaculture | Mortuary/Funeral Home/Crematorium |
| Assisted Living | Motor Vehicle Sales/Rentals |
| Athletic Field, Public | Museum |
| Bed & Breakfast | Neighborhood Recreation Center, |
| Boat Sales/Rentals | |
| Car Wash | Public |
| Club, Lodge, or Hall | Nursing Home |
| Commercial Indoor Recreation Facility | Office: Business, Professional, or Medical |
| Community Garden | Other Building-Mounted Antennae & |
| Concealed (Stealth) Antennae & Towers | Towers |
| Convenience Store | Outdoor Retail Display/Sales |
| Day Care Center | Park, Public |
| Dock | Parking Lot |
| Dry Boat Storage | Parking Structure |
| Financial Institution | Personal Service Establishment |
| Government/Non-Profit Owned/Operated Facilities & Services | Pool Hall or Billiard Hall |
| Hospital | Produce Stand/Farmers' Market |
| Hotel or Motel | Public Safety Station |
| Kennel, Indoor Operation Only | Public Utility Facility |
| Library | Religious Institution |
| | Resource Conservation Area |

- Restaurant with Drive-Thru Service
- Restaurant with Indoor Operation
- Retail Store
- Satellite Dish Antenna
- Signs, Commercial Free-Standing
- Tavern/Bar/Pub with Indoor Operation

- Temporary Construction Trailer
- Theater, Small
- Transportation Facility
- Utility Minor
- Vehicle Charging Station
- Vehicle Service

6) **Special Uses (Special Uses requirements may be found in Section 20 of this Ordinance).**

- Adult-Oriented Retail Establishment
- Commercial Outdoor Amphitheater
- Commercial Outdoor Recreation Facility
- Commercial Waterfront Facility
- Gas/Service Station
- Golf Driving Range
- Hazardous Material Storage
- Home/Outdoor Operation
- Ice Creamery, Light
- Marina
- Microbrewery
- Microdistillery

- Mini-Storage
- Mixed Use
- Outdoor Amphitheater, Public
- Outdoor Storage
- Preschool
- Restaurant with Outdoor Operation
- School, K-12
- School, Post-Secondary
- Tavern/Bar/Pub with Outdoor Operation
- Theater, Large
- Utility Facility
- Wholesale Establishment

Commercial Center

Streets and Circulation:

Streets should be (or have easy access to) higher volume streets or highways. Business frontages should have pedestrian connections to each other and to the surrounding sidewalk network, even if walking is not as convenient because of the longer distances. Automobiles are usually prioritized, but pedestrians should not be forgotten. If developments use extensive private drives or have adjacent parking areas, cross-access (automobile and pedestrian) should be required to adjacent non-residential or multi-family residential uses, in order to reduce traffic congestion on the main roads. Due to the high attraction of these centers, there might even be a transit stop nearby one day. Blocks should not exceed 700' feet on a side. If they do, the site may need to be redesigned to accommodate the public street network. Landscaping and proper stormwater management are key to ensuring attractive parking areas that do not contribute to excessive runoff.

Other Concerns:

Maintaining connectivity through these developments and to surrounding and adjacent neighborhoods and parcels is important. Allowing these developments to connect only to the main thoroughfare will contribute to additional traffic congestion as neighboring developments will have to travel the major thoroughfare to enter through the front, instead of having access from the sides and/or rear of the parcel. The connectivity, longevity, and public utility of the public street network must be a top consideration during the development process. Commercial areas are developed and redeveloped, but the right-of-way network established at the subdivision or site plan stage of development defines the built environment into the foreseeable future and beyond.



Examples of Commercial Centers

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