

# ARCHITECTURAL DESIGN STANDARDS

FOR



Architectural Review Committee  
416 Seneca Street, NW  
Calabash, NC 28467

**Note: Your Board of Directors reserves the right to approve or deny any projects not addressed in the Architectural Design Standards guidelines.**

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**ARCHITECTURAL DESIGN STANDARDS**

SECTION I – PREFACE ..... 1

    MASTER PLAN ..... 1

    PRINCIPLES AND PURPOSE ..... 1

    ARCHITECTURAL REVIEW COMMITTEE ..... 1

SECTION II - THE DESIGN PROCESS

    SPECIFIC BUILDING DESIGN STANDARDS ..... 1

        Architectural Detail..... 1

        Colors ..... 1

        Detached Structures ..... 1

        Driveways and Parking ..... 1

        Yard Fences ..... 1

        Deck, Patio & Terrace Privacy Fences ..... 2

        Fines..... 3

        Fuel Tanks ..... 3

        Flags, Flag Poles ..... 3

        Mailboxes ..... 3

        Outside Clothes Lines ..... 3

        Retractable Awning and Canopies ..... 3

        Street Lamps ..... 3

        Window Mounted Appliances ..... 4

        Window Treatments..... 4

    BUILDING EXTERIOR DESIGN STANDARDS ..... 4

        Construction Method ..... 4

        Homes Square Footage ..... 4

        Exterior Finish ..... 4

        Garages ..... 4

        Garage Door Screens ..... 4

        Roofing Style ..... 4

        Screening ..... 4

        Signs ..... 4

    SPECIFIC LANDSCAPING DESIGN STANDARDS ..... 4

        Landscaping Plan ..... 4

        Transplantation ..... 4

SECTION III - THE REVIEW PROCESS

    PLAN SUBMISSION PROCEDURES ..... 5

        Due Date ..... 5

        Requirements ..... 5

        Three Sets Required..... 5

        Completed Submission ..... 5

        Decisions of ARC ..... 5

    PRE-CONSTRUCTION SITE REVIEW ..... 5

        Building Setbacks ..... 5

        Marking of Property..... 5

    FEES ..... 5

        Road Impact Fee ..... 5

        Plan Submission Fee ..... 5

        Performance Bond ..... 5

        Changes..... 5

SECTION IV - THE CONSTRUCTION PHASE

Completion ..... 6  
Construction Equipment ..... 6  
Damages ..... 6  
Licensing..... 6  
Lot Preparation ..... 6  
Materials ..... 6  
Noxious or Offensive Activities ..... 6  
Portable Outdoor Toilet Facilities ..... 6  
Site Cleanliness ..... 6  
Signs ..... 6  
Street Drainage ..... 7  
Street Repair ..... 7  
Temporary Structures..... 7  
Working Hours ..... 7

FIELD REVIEW ..... 7  
External Reviews ..... 7

OCCUPANCY ..... 7  
Certificate of Occupancy ..... 7

DAMAGE OR DESTRUCTION ..... 7  
Obligation to Rebuild..... 7

SECTION V - GENERAL PROVISIONS

Amendment by Majority..... 7  
Date of Receipt ..... 7  
Fines..... 7  
Severability ..... 7  
Variances ..... 7

SECTION VI - APPENDICES

REQUIRED CONSTRUCTION DOCUMENTS AND DRAWINGS ..... 8  
Site Plan ..... 8  
Landscape Plan ..... 8  
Exterior Design..... 8  
HOUSE PLAN SUBMISSION PROCEDURE AND INFORMATION SHEET ..... 9  
Design Professional Resources ..... 9  
ARC Requirements ..... 9  
Fees to be Submitted..... 9

COLOR BOARD SHEET ..... 10  
Foundation ..... 10  
Siding ..... 10  
Trim ..... 10  
Shingles..... 10  
Detached Structure..... 10  
Fencing ..... 10  
Driveway..... 10

HOUSE ALTERATION APPLICATION AND INFORMATION SHEET..... 11

PROPERTY ALTERATION APPLICATION AND INFORMATION SHEET ..... 12

## Section I - Preface

### Master Plan

Ocean Side Place residential community reflects the relaxed lifestyle of southeastern North Carolina. Our goal at Ocean Side Place is to evoke those feelings of fellowship and community which invite neighbors to stroll through the community, join their neighbors at the Amenities Center, and enjoy each other's company.

### Principles and Purpose

The Architectural Design Standards (ADS) are established in accordance with the Master Declaration of Ocean Side Place. The purpose of the ADS is to ensure high design standards and architectural harmony which preserve and enhance the natural setting and beauty as well as property values within Ocean Side Place. Absolutely no construction or modification to the lot may occur until the plan is approved by the ARC.

### Architectural Review Committee

A supplement to the Master Declaration filed in August 2002 established the Architectural Review Committee (ARC) and sets forth its jurisdiction, powers, obligations and the rules and regulations under which it conducts its review of proposed improvements. Any statements contained in this document are to condense, amplify, or clarify provisions of the declaration. In the event of a conflict, the Declaration's provisions will prevail.

The ARC does not take responsibility for, or infer by its approval, the structural soundness of the dwelling(s), or that the building(s) meets any state or local codes.

The applicant is urged to carefully review all provisions of the Master Declaration for Ocean Side Place prior to submitting an application to the ARC.

The ARC, through its review process, ensures uniform application of its ADS. This includes defining aesthetic standards for construction in Ocean Side Place, approving any and all proposed improvements for a building site and construction within the subdivision. Additions, alterations, color changes or any and all improvements to the exterior of a home or any new construction on the lot, are subject to ARC review.

## Section II - The Design Process

### Specific Building Design Standards

#### Architectural Detail

Plans submitted to the ARC should include sufficient architectural detail, including trim accents, to illustrate the home's style. Detail trim accents such as proposed corner quoins, lintels with keystones, trim around windows and door, handrails, etc., must be clearly shown on elevations. Clearly show porches, finishes, and handrail details.

#### Colors

A wide variety of colors and natural finishes are acceptable.

A color palette has been approved by the Board of Directors for painting of shutters and doors. Said palette is held by the Architectural Review Committee and will be used as a guide for repainting.

#### Detached Structures

The ARC must approve any detached structures in connection with any homesite within Ocean Side Place.

#### Driveways and Parking

Driveways, turnarounds and excess parking areas must be surfaced with brick, concrete or some other approved hard-surfaced material. Asphalt driveways are not permitted. Driveways must abut the street pavement with a smooth, straight line. All drives must provide a substantial radius at the road edge. Regardless of surface type, the drive must be at least 10 feet wide. Driveways should be at least one foot from the property line.

Absolutely no overnight parking on streets, lawns or vacant lots is allowed.

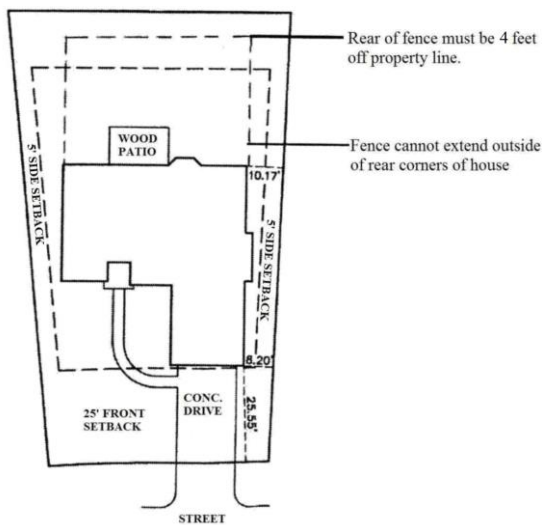
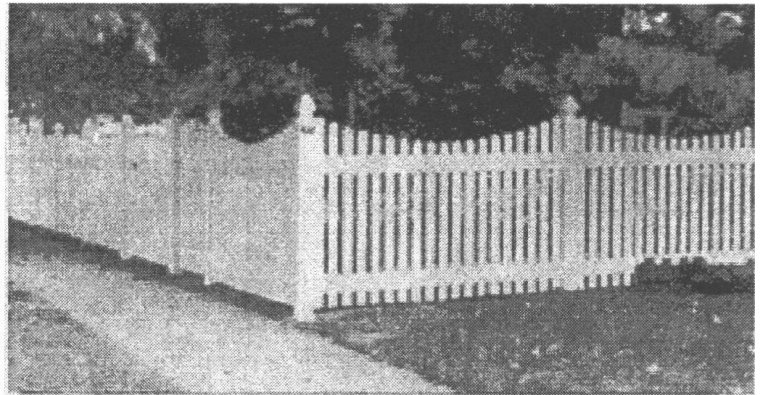
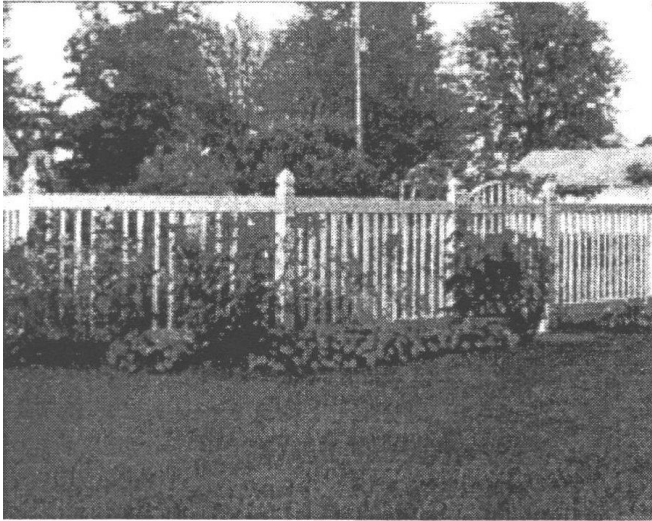
#### Yard Fences

Two types of vinyl fences (examples shown), including its gates and/or arbors, are approved by the ARC, subject to the design standards within this section.

The white vinyl fences must be four (4') feet in height (48 inches). They may not extend past the rear corners of the house and may not be any closer than seven (7') feet from the rear of the rear property line (See example of site plan ~~top~~ p. 5-2). The two examples shown in the ADS are the only current models accepted by the ARC. All installations must be approved by the Architectural Review Committee prior to the work being completed.

Another type of fence has been approved by the ARC which is an invisible fence that is laid underground and uses electronics to control pets from leaving the owner's yard. This fencing does not, however, prevent other animals from entering the yard. The fence may be installed no less than eighteen (18") inches from the side property line and at least seven (7') feet from the rear of the property line. This type of fence requires that the animal be trained in accordance with the vendor's specifications for pet training with use of this type of fence, and be certified by the vendor upon completion of that necessary training.

The use of either of these fencing options, vinyl or invisible, requires all pet owners to accept the responsibility and liability for their pet from entering onto another owner's property or leaving its owner's property.



**Deck, Patio & Terrace Privacy Fences**

For the purposes of the section, “deck”, “patio” and “terrace” shall mean “deck”. For the purposes of this section, “fence” and “fencing” shall mean the “post” and “panels”. All fencing shall be white vinyl and shall have a maximum nominal panel height of six (6’) feet. The centerline of the post shall not be more than six (6”) inches from the edge of the deck. All posts (nominal 4”x4” minimum) supporting panels greater than four (4’) feet in height shall be encased in concrete extending at least two (2’) feet below finished grade. All wood posts shall be treated for ground contact and sleeved above finished grade with white vinyl. The bottom of the panel shall not be more than three (3”) inches above the finished surface of the deck. The “good” (finished, exterior, etc.) side of the panel shall face outward from the deck.

No items shall be hung or draped over the fence nor shall any signage be fixed to, hung or leaned on the “good” side of the fence. If the entire deck is enclosed by fencing and/or other structure(s), an access gate shall be installed.

All fencing shall be installed in accordance with manufacturer’s instructions. If there is a difference between the manufacturers’ instructions and the above regulations, Ocean Side Place Board of Directors and the Architectural Review Committee (ARC) shall make a ruling. Special cases will be assessed on a one to one basis.

**This applies only to existing decks. Any and all deck and privacy fence installations or modifications must be submitted to the Architectural Review Committee for review and approval. This does not change in any way the existing fence rule for perimeter fences that extend into backyards.**

Fines

Violation of any of the requirements listed herewith shall be brought to the violator's attention by written notice from the POA. The violator shall have one week to comply with the rules. Thereafter, the violator will be fined up to a rate of \$25 per day for each violation. This penalty shall constitute a lien against the violator's property.

Fuel Tanks

Fuel tanks must be buried or placed behind screening walls. All tanks must meet EPA and state standards. Proposed placement and screening of the fuel tank must be included in the site plan.

Flags, Flag Poles

a) As of August 30, 2004 the Board of Directors of the Ocean Side Place POA has granted approval for the installation of flag poles on any lot within Ocean Side Place, with the following stipulations:

- Flagpoles may not exceed 25 feet in height
- Flagpole must be no closer than 20 feet to the road
- Flag pole must be a minimum of 7 feet off of the rear property line and 5 feet from the side yard property lines
- American, North Carolina, and POW-MIA flags, no larger than 4'x 6', may be displayed on a flag pole. All other flags require approval by the ARC and must be displayed in conjunction with and lower than the American or NC state flag.

The traditional rules for displaying the American flag should be followed:

- The flag should be displayed from sunrise to sunset. However, when a patriotic effect is desired, the flag may be displayed twenty-four hours a day if properly illuminated during the hours of darkness.
- The American flag, when it is in such condition that it is no longer a fitting emblem for display should be destroyed in a dignified way, preferably by burning.

Mailboxes

Mailboxes and newspaper receptacles shall be of standard design as illustrated and described here. This is a new design. Those residences that currently have the old design, octagonal cedar boxes may maintain those boxes in good condition. At the time a resident decides to replace the old style box, the resident must upgrade to the design presented here. The finial, pole, rose scroll, paper box and mail box are vinyl. The pole and newspaper box are white; mail box is black. No other style box is allowed. Setback from street must conform to US Postal Service requirements. Guidance sheets are available from the Postal Service.

Outside Clothes Lines

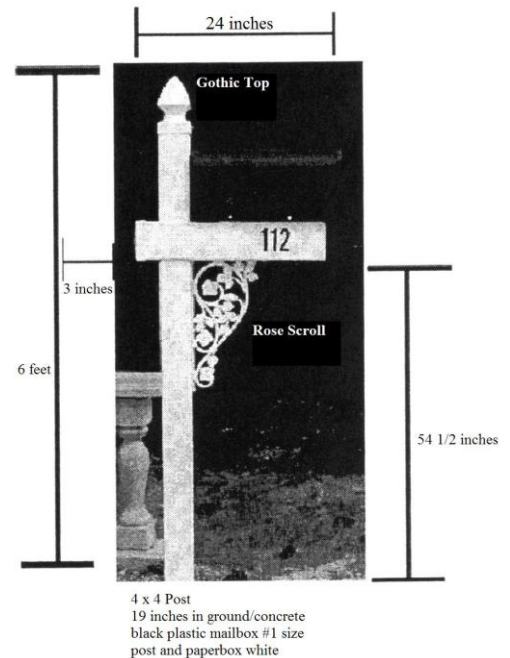
Outside clothes lines or other outside facilities for drying or airing clothes are specifically prohibited and shall not be erected, placed or maintained, nor shall any clothing, rugs, or other item be hung on any railing, fence, hedge or wall visible to the public.

Retractable Awning and Canopies

Retractable awnings and canopies that are for the purpose of shading either patios and/or deck areas are permitted within Ocean Side Place. The awning or canopy must be secured to the home to prevent the awning or canopy from coming loose in high winds. Retractable awnings and canopies are not subject to the impervious restrictions referred to in the Ocean Side Place Master Declaration and Architectural Design Standards publications when used for the purpose of shading only. It is imperative that proper maintenance be performed on both awnings and canopies and repair and/or replacements made at the first sign of wear and tear.

Street Lamps

A minimum of one street lamp shall be required to be placed at the driveway entry on each homesite. The lamp must be equipped with a sensor which turns the light on at dusk and turns it off at daylight. The ARC shall approve placement. Light bulbs must have an effective wattage of no less than fifty (50) and no more than (100) watts.



### Window Mounted Appliances

No window-mounted heating or air conditioning units, fans or other appliances shall be permitted.

### Window Treatments

Any window treatment visible from the outside of the home must be approved by the ARC.

## **Building Exterior Design Standards**

### Construction Method

All homes within Ocean Side Place shall be built on the site.

### Homes Square Footage

Square footage is measured as heated area. Homes must be a minimum of 1000 square feet of heated space. The state of North Carolina requires that no home site in Ocean Side Place have more than 2,450 square feet of impervious surface including the house footprint with garage, porches, stoops, etc.; driveway, walkways and any other structure on the lot.

### Exterior Finish

Approved exterior siding materials are vinyl, brick, stone and hardiplank.

### Garages

Garages should be attached to the house and should be of the same style and materials as the house.

### Garage Door Screens

Garage door screens are permitted within Ocean Side Place as long as they follow the following stipulations:

- The framing for the screens must be securely anchored to the home
- The screens must be removable in the case of severe weather
- The installation should be equipped with a threshold strong enough to withstand the weight of an automobile driving in and out of the garage
- The garage door screens and frame must be kept in good condition at all times

If all of the above stipulations are met, no prior approval by the ARC is required. If exceptions to the above stipulations are required, the ARC must review and approve.

### Roofing Style

To achieve the desired architectural style, roof pitches shall be a minimum of 6'/12'. Multiple rooflines are required on front elevation. Roofing materials may be architectural grade shingles, slate, wooden shakes or metal.

### Screening

Any garbage equipment, mechanical equipment, yard maintenance vehicles, or similar items must be kept in the garage or approved storage area. If the trash receptacle remains outside, it must be enclosed on two sides (90° angle) so it cannot be seen from the street.

### Signs

- a) "For Sale" and "For Rent" signs by a real estate company or property owner are allowed within Ocean Side Place. They shall be located in the center of the property seven feet (7') from the curb and each sign shall contain the name and phone number of the real estate company acting as the owner's agent or with the owner's contact phone number in the case of "For Sale/For Rent By Owner".
- b) Political Signs
  - i) Political signs may be displayed during national, state or Brunswick county elections.
  - ii) They cannot be displayed earlier than forty five (45) days prior to the election and must be removed no later than seven (7) days after the election.

## **Specific Landscaping Design Standards**

### Landscaping Plan

The ARC shall approve all lot landscaping, including removing and replacing trees on each Lot. No trees of the size of five or more inches in diameter shall be removed without approval of the ARC. Native plants shall be used to the greatest extent possible.

### Transplantation

Much of the property within Ocean Side Place has native plants suitable for transplantation. When preparing your lot for construction, plants within your construction site can be moved to locations outside the house footprint. All of the landscaping of lots must be completed within sixty (60) days of the issuance of the Brunswick County certificate of occupancy.

## Section III - The Review Process

### **Plan Submission Procedures**

#### Due Date

Plans must be submitted to the Chairperson by the 1<sup>st</sup> of the month to be eligible for review that month.

#### Requirements

Review plans must include as a minimum the following:

- Site plan with location of house, fencing, screening, driveway and walkways, mail box and lamp post
- Landscaping plan
- Exterior design plan
- Color board of materials and finishes with samples
- Information sheet included at the end of this section
- Architectural renderings or photographs of the proposed design may be submitted to the ARC in addition to plans

#### Three Sets Required

Three sets of all plans (site, building, and landscape) must be submitted along with completed application form. Two sets will be returned (one for builder and one for property owner). One set will remain with the ARC as a permanent record.

#### Completed Submission

Any submission that does not include all plans, material, applications, and other items as required by this section will be rejected and will not be placed on the agenda until all requirements have been met.

#### Decisions of ARC

All decisions of the ARC are final.

### **Pre-Construction Site Review**

#### Building Setbacks

Building setbacks must follow the ADS and the county regulations in place at the time of construction. The ARC must approve home placement location on your lot to determine best use of the property and developmental plan. Minimum setback requirements are five feet on the sides, fifteen feet in the rear and 25 feet in the front.

#### Marking of Property

Prior to any clearing and/or construction on the building lot:

- Property lines must be strung between all four corners of lot
- House foot print must be staked out and lined with surveyors tape
- All trees proposed for removal must be marked with surveyor's tape.

### **Fees**

#### Road Impact Fee

A non-refundable road impact fee of \$1000 is payable to the Ocean Side Place Property Owners Association. Payment must accompany plan submission.

#### Plan Submission Fee

A non-refundable home plan submission fee of \$200, payable to the Ocean Side Place Property Owner's Association, must be submitted to the ARC with submission of plans. This fee covers the administrative costs associated with the plan review process.

#### Performance Bond

Prior to commencement of construction, the contractor shall pay to the POA a performance bond of \$2000, the same to be refunded to the contractor at the satisfactory completion of landscaping. This bond may be used at the ARC's discretion to repair damages left by contractors or to satisfactorily complete items left undone by a contractor.

#### Changes

Fees may change without notice.

## Section IV - The Construction Phase

### Completion

Construction of your home must be completed within six (6) months from date of issuance of Brunswick County building permit.

### Construction Equipment

Construction equipment will be kept on site and off the street.

### Damages

The Property Owner will be held accountable for damage done by contractors, subcontractors, material delivery persons and any other agent of the Owner to trees, roads, signs and other property and facilities. Failure to act will result in the POA having damages repaired and having the responsible Property Owner billed for repairs.

### Licensing

All builders hired for construction of dwellings shall hold a valid North Carolina General Contractors license.

### Lot Preparation

No lot or portion thereof will be cleared without ARC permission. Mowing is allowed as provided under the Master Declaration.

### Materials

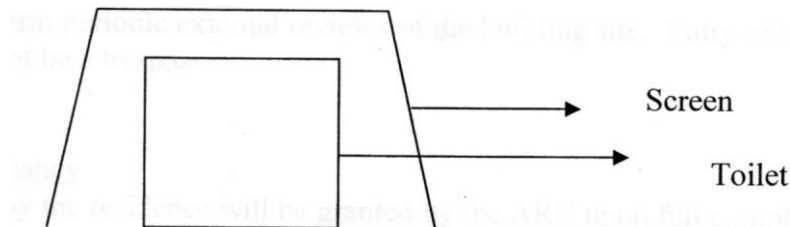
Materials must be stored within the property lines, and not extend to adjacent property sites. A clear street right of way must be maintained at all times.

### Noxious or Offensive Activities

The Master Declaration prohibits noxious or offensive activities. Contractors, subcontractors, material delivery persons and any other agent of the Owner doing business in Ocean Side Place will be required to conduct themselves accordingly. Speeding in residential areas will not be tolerated. Loud vehicles, radios, tape players or other disruptive noise will not be permitted.

### Portable Outdoor Toilet Facilities

Screened portable toilets must be provided on site during construction. All workers are required to use them. They are to be located on the homesite. They are to be located on the homesite, not on the right of way, with the door facing the house. Facilities must be enclosed on three sides by a white lattice blind. Facilities may not be placed on site prior to site clearing and must be moved promptly upon approved Occupancy inspection. Screen should fan open at a 5 degree angle. The door must face the back of the lot.



### Site Cleanliness

The Property Owner is responsible for maintaining a clean construction site at all times. The Property Owner will be responsible for a thorough clean up of the construction site for the duration of construction and upon completion of the building project.

### Signs

Only those signs described in this document are allowed. Before installation, each sign must be approved by the ARC.

One sign identifying the general contractor and architect may be erected on the lot during construction of the residence. All such signs must follow a standard design prescribed by the ARC. All such signs must be removed by the issuance date of the certificate of occupancy or six months from the date of issuance of the construction permit whichever first occurs.

- White background two feet by three feet (2'x3')
- White posts four inches by four inches (4"x4")
- Height from top of sign to ground must be forty-eight inches (48")
- The sign should be located in front of the portable toilet screen while construction is underway.

### Street Drainage

No alteration to street drainage is permitted.

### Street Repair

The Property Owner is responsible for any damage which occurs to the streets within Ocean Side Place during construction of the Property Owner's dwelling by any construction vehicles or equipment. Cost of street repair will be assessed to the homeowner by the POA. The POA will accomplish repair.

### Temporary Structures

No temporary house, trailer, mobile home, recreational vehicle, tent, garage or other building shall be placed or erected on any Lot. The ARC may grant permission for temporary structures for storage of materials during construction.

### Working Hours

Contractors shall work between 7 AM to 7 PM, Monday through Saturday. No construction other than on an emergency basis may be conducted on Sunday and only with prior approval of the ARC.

### Field Review

#### External Reviews

The ARC will perform periodic external reviews of the building site. Entry of the site by the ARC or its agents shall not be a trespass.

### Occupancy

#### Certificate of Occupancy

Permission to occupy the residence will be granted by the ARC upon full compliance with the ADS with the exception of the landscaping which may be completed within 60 days of the issuance of the Brunswick County certificate of occupancy. Occupancy of the home requires possession of the county CO's and permission of the ARC.

### Damage or Destruction

#### Obligation to Rebuild

Should your home or other structures on the lot be damaged, or partially or totally destroyed, it is the homeowner's responsibility to promptly repair or reconstruct the structure in a manner consistent with the ADS and under plans approved by the ARC. Such repair must begin within sixty days of the date of destruction or damage. Should the Owner determine that the damage is so extensive that repair is not practical and chooses not to rebuild, the Owner shall clear the lot of any and all debris and return it to the natural state in which it existed prior to beginning initial construction within sixty days of the date of the damage.

## Section V - General Provisions

### Amendment by Majority

The foregoing rules and regulations may be amended at any time by a majority vote of the ARC with the approval of the POA Board of Directors. No prior notices or announcements will be required to amend these rules and regulations.

### Date of Receipt

Any preliminary or final plan marked "received" on a specific date shall be subject to the rules and regulations applicable at that time.

### Fines

The ARC shall have enforcement powers including, but not limited to, fining property Owners, with the approval of the Board of Directors, who are found to be in violation of the ADS. The imposition of the fines may be enforced as provided in the Master Declaration. An Owner may be fined for violations committed by his family members, guests, invitees, agents, contractors or employees.

### Severability

This document shall not be rendered invalid or unenforceable should any of the provisions of this document or the application or effect thereof be invalid or unenforceable for any reason and to any extent.

### Variances

Building set-back and other guidelines are established by the ARC to create design harmony within the neighborhood. The ARC may grant variances from these guidelines to alleviate hardships in any particular case or to adjust for physical conditions where strict compliance would not be practical. All variance requests must be in writing detailing a complete description of the variance requested and the reason for the variance request. The request must be submitted with the project submission.

## Section VI - Appendices

### **Required Construction Documents and Drawings**

#### Site Plan

Site Plan at 1"=20' minimum clearly showing:

- Driveway and walks
- Fences
- Garbage and HVAC enclosures
- Location and description of any other outside structure
- Location footprint of dwelling on site with entry areas, exterior stairs and decks
- Percentage and square footage of lot covered by impervious surfaces
- Post lamp and other outdoor lighting and any other outdoor fixtures
- Property lines, setbacks and easements with dimensions
- Screening
- Setback lines

#### Landscape Plan

Landscaping plan 1"=20' minimum clearly showing:

- Locations of any proposed landscape lighting indicating fixture type
- Natural or mulched areas and any proposed hardscaped elements such as fences, walls, stepping stones
- Outline of proposed tree and shrub locations showing circular symbols indicating mature spreads, lawn areas, ground cover and seasonal color areas
- Outline of structures as shown on site plan
- Plant list
- Irrigation design

#### Exterior Design

Elevations of front, rear, left side and right side are required clearly showing:

- Decks, terraces, stoops, exterior stairs, porches and patios
- Exterior windows and doors
- Heated square footage in dwelling
- Numeric dimensions of house
- Roof plan with overhangs, roof pitches and overall height from FFE to ridge
- Siding (quoins) detail. If brick, show row lock sills, header course, water table course.
- Trim and corner decoration on all four sides

# HOUSE PLAN SUBMISSION PROCEDURE AND INFORMATION SHEET

## Design Professional Resources

Provide your design professional with copy of your Master Declaration and Supplements as well as a copy of the ADS.

## ARC Requirements

Provide three (3) complete sets of plans with completed application forms to the ARC along with completed Submission Sheet and Color Board.

## Fees to be Submitted

- \_\_\_\_\_ Plan Submission Fee of \$200 payable to Ocean Side Place POA
- \_\_\_\_\_ Contractor's Road Maintenance Fee of \$1000 payable to Ocean Side Place POA
- \_\_\_\_\_ Performance Bond of \$2000 payable to Ocean Side Place POA. Refundable.

Deliver complete package to the Chairperson of the ARC (or his/her representative).

Lot # \_\_\_\_\_ Street \_\_\_\_\_

Owner's Name \_\_\_\_\_

Mailing Address \_\_\_\_\_

Phone # \_\_\_\_\_ Home \_\_\_\_\_ Business \_\_\_\_\_

Fax \_\_\_\_\_ e-mail \_\_\_\_\_

General Contractor  
Name \_\_\_\_\_

Mailing Address \_\_\_\_\_

Phone # \_\_\_\_\_ Office \_\_\_\_\_ Mobile \_\_\_\_\_

Pager \_\_\_\_\_ Fax \_\_\_\_\_

North Carolina Builder's License # \_\_\_\_\_

Expiration Date \_\_\_\_\_

## COLOR BOARD

Complete the information requested and attach a sample of each item. If too large to attach, submit separately, clearly labeled.

Owner's Name(s) \_\_\_\_\_

Lot # & Address \_\_\_\_\_

Contractor's Name: \_\_\_\_\_

### Foundation

Material \_\_\_\_\_

Color \_\_\_\_\_

### Siding

Material \_\_\_\_\_

Color \_\_\_\_\_

Application method \_\_\_\_\_

### Trim

Material \_\_\_\_\_

Color \_\_\_\_\_

Trim style \_\_\_\_\_

### Shingles

Brand and Grade \_\_\_\_\_

Color \_\_\_\_\_

### Detached Structure

Material \_\_\_\_\_

Color \_\_\_\_\_

Where Used \_\_\_\_\_

### Fencing

Material \_\_\_\_\_

Color \_\_\_\_\_

Where Used \_\_\_\_\_

### Driveway

Material \_\_\_\_\_

Placement \_\_\_\_\_

# HOUSE ALTERATION APPLICATION AND INFORMATION SHEET

Please review the Architectural Design Standards prior to submitting an alteration form to be sure what you want to do is within these standards. If any questions, please contact the Chairperson of the Architectural Review Committee.

Provide two (2) complete sets of plans or sketches with this application form to the ARC. Please provide as much information as you can. Also submit a plot plan outlining your house on your lot...showing setbacks, etc.

Fees to be Submitted:

**Plan Submission Fee of \$50.00 will be payable to Ocean Side Place POA for all additions and modifications (excluding replacement of like kind, color and material) costing 500.00 and over.**

Deliver complete package to the Chairperson of the ARC (or his/her representative).

Lot # \_\_\_\_\_ Street \_\_\_\_\_

Owner's Name \_\_\_\_\_

Mailing Address \_\_\_\_\_

Phone # Home \_\_\_\_\_ Business \_\_\_\_\_

Fax \_\_\_\_\_ E-Mail \_\_\_\_\_

General Contractor Name \_\_\_\_\_

Mailing Address \_\_\_\_\_

Phone # \_\_\_\_\_

Office # \_\_\_\_\_ Mobile # \_\_\_\_\_

Pager # \_\_\_\_\_ Fax # \_\_\_\_\_

North Carolina Builder's License # \_\_\_\_\_

Expiration Date \_\_\_\_\_

# ARCHITECTURAL REVIEW COMMITTEE (ARC) PROPERTY ALTERATION APPLICATION

Approval for any alteration outside your home (roof, windows, painting, deck, lanai, trees/ shrubbery, fencing, etc.) will require submittal of this ARC Alteration Form prior to commencement of any work. After reviewing the Architectural Design Standards (available upon request) submit this form to a current ARC or Board Member via hardcopy hand-off, postal mail, or at the email listed below.

**Guidelines:**

Please attach information e.g. sketch/rendition, plot plan, photos, color scheme, etc. to your request.

Fees - A Plan Submission Fee of \$50.00, payable to Ocean Side Place POA, may apply. Fee may be waived for like-kind replacement, landscaping with no change in footprint, etc.

Lot # \_\_\_\_\_ Street # / Address \_\_\_\_\_

Owner's Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Phone #: Home: \_\_\_\_\_ Cell: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Please check box(es) below:

- Alteration to existing home
- Addition
- Window Change (+ or -)
- Siding Change
- Roof Change
- Deck, Patio or Terrace
- Driveway or Sidewalk
- Deck, Patio or Terrace Privacy Fence (6 foot maximum)
- Yard Fence (4 foot maximum)
- Additional Landscaping
- Tree Removal (larger than 5" diameter)
- Other - Please state below

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BELOW THIS LINE TO BE FILLED IN BY ARC

**APPROVED:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**STIPULATIONS:** \_\_\_\_\_

**DENIED:** Reason \_\_\_\_\_

**RESUBMIT:** \_\_\_\_\_ **Date:** \_\_\_\_\_