

**RIVERS EDGE GOLF CLUB
& PLANTATION**

**RESIDENTIAL DESIGN AND
CONSTRUCTION GUIDELINES**

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RIVERS EDGE GOLF CLUB & PLANTATION

ARCHITECTURAL REVIEW GUIDELINES

A. INTRODUCTION

The Architectural Review Board (ARB) has been established in accordance with the Master Declaration of Covenants, Conditions and Restrictions for Rivers Edge Golf Club & Plantation (hereinafter called the "Plantation" or "Community"). The purpose of the ARB is to insure high design standards and architectural harmony of the buildings and landscaping in the Plantation and to preserve and enhance the magnificent natural setting and beauty of the property.

To insure the best possible designs, the ARB requires that all homes be professionally designed. The professional design may be by any one or a combination of the following:

1. Architect
2. Professional Designer
3. Professional Licensed Building Contractor
4. Plans from a commercially Prepared Residential Plan Book which meet the requirements of Rivers Edge Golf Club & Plantation

Please note that should you utilize a standard plan purchased from a plan service, revisions to the plan must be designed by either 1 or 2 above, as well as the screen elements around service yards and trash containers.

In addition, the landscape plan must be professionally designed by one of the following:

1. Landscape Architect
2. Professional Landscape Designer/Contractor

B. ARCHITECTURAL REVIEW BOARD POLICIES

Section I – Principals and Purpose

In order to assure that proper design standards for buildings and landscaping are achieved and to assure a continuity of physical development such that future development will be compatible with

existing development, the Developer has declared and recorded Covenants, Conditions, and Restrictions applicable to Rivers Edge Golf Club & Plantation. That Declaration established the Architectural Review Board and sets forth its jurisdiction, powers, obligations and the rules and regulations under which it will conduct its review of proposed improvements. Any statements contained in this document are to condense, amplify, or clarify provisions of that Declaration. In the event of a conflict, the Declaration's provisions will prevail.

The applicant is urged to carefully review all provisions of the Declaration prior to submitting an application to the ARB.

The ARB has been established for the purpose of defining aesthetic Standards for construction in Rivers Edge Golf Club & Plantation and Examining and approving or disapproving any and all proposed improvements for a building site within the community, including but not limited to: dwellings, garages, outbuildings, or any other buildings, construction or installation of landscaping, sidewalks, driveways, parking lots, mail-boxes, decks, patios, courtyards, swimming pools, awnings, walls, fences, exterior lights, any exterior addition to or change or alteration to existing structures, including, without limitation, paint or staining of any exterior surface.

ARB approval must be obtained for dredging and fill operations, shaping of land areas and drainage, and unless located within five (5) feet of a building or parking area, no tree, shrub, bush or other vegetation having a trunk diameter of six (6) inches or more at a point of four (4) feet above ground level shall be cut, removed or mutilated, provided this does not apply to dead or diseased trees or shrubs. If any such tree, bush or shrub is removed without approval of the Committee, the owner shall replace it with a tree, bush or shrub of comparable value. In the event the owner fails, within thirty (30) days, to satisfactorily replace the tree, bush or shrub removed, the owner shall pay the Association damage fee (as set by the ARB) upon demand of up to \$500.00 per loss or removed tree, bush or shrub. The Association through its agents and employees shall have the right to enter the property for the purpose of replacing the tree, bush or shrub. Liquidated damages provided for herein shall become a lien on the property of the owner.

Section II – Administration of ARB

- 2.1 The ARB will consist of a minimum of three (3) members, appointed by the Developer. The ARB may, at its discretion, increase the number of board members to five (5).

2.2 Administrator

The ARB shall appoint an Administrator who shall see to the day to day management of the ARB, including the following:

- a. Receiving and processing all applications to the ARB.
- b. Answering questions concerning the ARB and representing the ARB to the Property Owners and to the general public.
- c. Supervision of inspection efforts.
- d. Preparing routine correspondence for the ARB.

Section III – Plan Submission Procedures

3.1 **TWO SETS** of all plans (building and landscape) must be submitted along with a completed application form to be provided to the applicant by the ARB.

3.1.1 Plans must be submitted at least 7 days prior to the ARB meeting in order to allow the Committee enough time for the thorough review.

3.1.2 Plans may be submitted to the Developer's Administration office on site.

3.1.3 Plans will be stamped as to the day of receipt by the ARB Administrator.

3.2 Review plans must include as a minimum:

3.2.1 Information sheet included in the end of this section.

3.2.2 Drawings:

a. Site Plan at 1" = 20' (minimum)

1. North arrow
2. Property lines with dimensions and bearings.
3. Existing and proposed contours at 1'-0" intervals.
4. Dwelling to be indicated as floor plan with entry area, stairs, and decks delineated and roof lines shown as dashed lines.
5. First floor elevation (FFE) indicated.
6. Setback lines shown.
7. Drives and walks shown.
8. Service yard and screening.
9. Trees with 6" trunks at 4' above grade with type noted.

10. Flood elevation.
11. Impervious surface coverage allowed and showing how much impervious areas are covered by the house foot print, patios, driveways, etc. including the driveway to its point of connection with the street.
12. The heated and cooled square footage in the house.
13. The gross square footage in the building.
14. If the house is 1 ½ stories or more, the square footage on the ground floor including the garage.

b. Landscaping Plan @ 1" = 20' (minimum)

c. Floor plans: To scale 1/8" or 1/4" = 1'- 0". These should include for each floor:

1. Walls shown
2. Windows and doors
3. Overhangs of roofs shown
4. Dimension overall limits of plans
5. Driveway location, stairway, trash and HVAC and service yard enclosures
6. All decks, patios, pools, proposed fences and screen walls.

d. Elevations: Front, Rear, Right and Left side

1. Show how building relates to grade level
2. Show screening type and location
3. Indicate overall height from grade to ridge of roof
4. Show trim and corner details
5. Indicate materials

e. The house must be staked on the lot in the proposed location. Trees outside house boundary to be removed should be flagged with orange surveyor's tape.

f. Color Board and Samples showing all exterior finishes and colors, to include drives and walks.

3.3 Improvement Review

The covenants require that "No subsequent alteration or modification of any existing improvements nor construction, erection, or installation of additional improvements may be undertaken on any of the properties without prior review and express written approval of the

ARB." A request for review of the proposed improvements by the Committee must contain:

- a. Site Plan of proposed location of improvement to scale.
- b. Letter of intent with description and purpose of improvements.
- c. Material and color sample (match or blend with existing materials).
- d. Floor plans and elevation as outlined in Section 3.2.2© and (d).

3.4 Incomplete Submission

Any submission that does not include all plans, materials, applications, and other items as required by this section will be rejected by the Administrator and will not be placed on the agenda until all requirements have been met.

- 3.5 Rejected submissions may be resubmitted seven (7) days in advance of the next meeting.

Section IV – Architectural Review Board Meetings

- 4.1 The ARB will conduct regular meetings monthly, all meetings will be held at the onsite office of Rivers Edge Golf Club and Plantation, Inc.
- 4.2 The ARB may conduct special meetings, upon notification of date, time, and place from the Chairman.
- 4.3 All decisions of the Architectural Review Board will be final unless appealed pursuant to the appeals procedures set forth in Section 10, contained herein.
- 4.4 Applicants will be notified, in writing, of all decisions of the ARB. Oral representation of any decision will not be valid and will not represent decisions of the ARB.
- 4.5 Applicants may have returned to them a copy of plans reviewed by the ARB with appropriate markings to amplify the comments or recommendations of the Committee. Markings on plans so received will not bind the ARB to any design indicated therein but are offered only as advisory comments.
- 4.6 Special visual aids such as models, slides, etc. may be reclaimed by the applicant.

Section V – Site Standards

5.1 Impervious Coverage Square Footage

No variance which will serve to increase the impervious coverage to an amount greater than that allowed for the particular lot will be granted by the ARB; therefore, the impervious surface square footage must be clearly stated on the site plan.

5.2 Flood Zone & Floor Elevation Requirements

All residential structures shall have a minimum finished floor elevation as follows:

A. Custom Homes

1. 36" above existing grade (OR)
2. 12" above flood elevation

Whichever requirement is GREATER shall apply.

B. Theme Village

Each Theme Village will have separately imposed minimum height above the existing grade which will be adopted by the ARB when the Theme Village models are approved. In all cases, however, the first floor elevation must be at least 12" above the flood zone elevation, if the lot is located in a flood zone. In addition, the ARB may set minimum height elevations above the adjacent street elevation as well as minimum height above existing grade.

5.3 Setbacks (must be shown on site plans)

5.3.1 Custom Lot Building Setbacks

- a. Front Yard: 25'-0" minimum
- b. Side Yards: 10'-0" minimum
- c. Rear Yard: 35'-0" minimum
- d. Building setbacks are measured from property line to the adjacent building wall line. Roof overhangs may encroach into the setback 1'-0" maximum.

5.3.2 Theme Villages

Setbacks shall be established by the ARB as a part of the initial approval process for the particular village involved.

5.4 Fences, Screen Walls

Fences may be of wood, brick, or other suitable material and must harmonize in character and color with the house. Five foot height is maximum. Likewise, gates and other features should be of compatible design and color. The fences should attempt to define and create spaces rather than be merely used as a property delineator. Fences running more than 50% of the property line are prohibited.

Exterior Appearance. No chain link fences shall be permitted on any lot within the community, except with regards to maintenance areas within the Common Areas. All fencing must be clearly shown on the plans. It must be detailed in the set of plans, showing location desired and dimensions. A detail showing the fence in elevation and identifying all materials to be used is also required.

- 5.5 Outside clothes lines or other outside facilities for drying or airing clothes are specifically prohibited and shall not be erected, placed, or maintained, nor shall any clothing, rugs, or other item be hung on any railing, fence, hedge, or wall.

5.6 Windows

No foil or other reflective materials shall be used on any windows For sunscreens, blinds, shades or other purposes, nor shall any window-mounted heating or air conditioning units be permitted. The backing (the side exposed to the exterior of the home) of all Blinds, curtains and draperies will be white or off-white in color.

- 5.7 Yard sculptures of any kind and flag poles are prohibited. Any yard addition, including but not limited to, plantings, ornaments, bird baths, bird feeders, gazebos, seasonal decorations, home address markers, driveway reflectors, etc. not submitted and approved with the original landscaping plan must be submitted and approved by the ARB prior to installation.

- 5.8 Driveways and parking: Driveways, turnarounds and excess parking areas must be surfaced with brick, concrete or some other approved hard surfaced material. The driveway must provide adequate drainage provisions to accommodate a heavy downpour. All drives must provide a substantial apron at the road edge.

- a. All driveway colors and textures must be approved by the ARB.
- b. Driveway width: 10'-6" minimum.
- c. Driveways must be setback from the side property lines 2'-6" minimum.

5.9 Culvert Requirements

- a. Minimum size has been engineered to suit drainage requirements. Contact the ARB Administrator for size requirements for your lot.
- b. Culvert must be concrete with tapered ends.
- c. Culvert must be installed prior to start of construction.
- d. Head walls at driveways are not permitted.
- e. Culvert must be installed so that driveway makes a smooth transition to the road.

5.10 Service Yards. The Owner of a lot shall provide visually screened areas to serve as service yards in which garbage equipment, mechanical equipment, and similar material are stored in order to conceal them from view from roads and adjacent properties. Any such visual barrier shall be a maximum of five (5) feet high and may consist of either fencing or landscaping and planting. landscape material must be at least three (3) feet high at time of installation.

5.11 Exterior Lighting. Plant lighting and landscape lighting is encouraged in moderation. All plant lighting and landscape lighting shall be according to such plans and designs as furnished by and approved by the Developer. Landscape fixtures must be shielded by planting and concealed in daytime.

5.12 Landscaping. A successful landscape plan is composed of a number of elements that, with quality design and execution contribute to a unified marriage of the natural environment and man-made elements introduced to the site. These introduced elements will be reviewed by the Committee for effectiveness in solving some of the issues outlined below.

Perhaps the most important aspect of a successful landscape plan, the planting budget is money well spent to increase the value and appeal of your new home. Landscape improvement should be a minimum of five percent of total home cost.

Your landscape plan can be practical as well as attractive. On a wooded site, protecting and planting trees decreases temperature impacts of seasonal extremes, while at the same time providing privacy and beauty.

The planting plan itself should sufficiently screen utility area, break up the foundation of the building, buffer driveways and parking areas adjacent to property lines, and provide cover for areas disturbed during construction. Plants for screening should be appropriate and of sufficient size and spacing to ensure an adequate buffer upon installation.

The natural landscaping approach should concentrate your planing efforts adjacent to the house, especially near the entry. The more ornamental plants if used correctly, will provide a transition from the natural character of the site to the man-made structure if the home. The ground cover should begin this transition, which should progress to larger shrubs closer to the house. For maximum appeal, try to mix textures and color, but do keep the plan simple. A better effect can be achieved from using quantities of a few species rather than a few plants each of many species. Straight line planting is discouraged – planting should achieve a staggered, grouped effect as if grown naturally.

5.13 Minimum Planting Requirements:

- a. Front Yard: (20) Shrubs, minimum size 5 gallon
- b. Each Side Yard: (10) Shrubs, minimum size 5 gallon
- c. Rear Yard (10) Shrubs, minimum size 5 gallon
- d. Ground Cover: With the exception of the required planting beds, the side yard and the front yard must be sodded. In the case of the front yard, it must be sodded to the edge of the adjacent pavement in the street. Approximately 70% of the rear disturbed area yard shall be sodded or as otherwise approved by the ARB. The remaining approximately 30% of the rear yard must be in planting beds.
- e. Screening plants are to be in addition to minimum requirements
Must be 3'0" high at planting.

5.14 Care of Specimen Trees

- a. All specimen trees, as designated by the ARB Administrator, will be

protected from damage during construction.

- b. Batter boards will be erected and maintained around each tree so designated by the ARB.
- c. Excavations and installation of underground utilities will be performed in such a manner as to avoid damaging the root system of specimen trees.
- d. If, in the judgment of the Architectural Review Board, a specimen tree is damaged or destroyed due to carelessness or avoidable activities on the part of the owner or contractor, the ARB will require the replacement of the tree with a new specimen tree.

5.15 Adjoining Properties During Construction

- a. Side and rear property lines shall be staked and marked by a registered land surveyor, and maintained for the duration of the construction project. All materials must be kept and stored within the confines of each individual lot. All vehicles, both deliveries and workman's must operate within the confines of the lot and shall not cross any of the adjacent properties. The swale in front of each property is owned by the Property Owners Association and is not considered part of the owner's property. One culvert shall be installed at the driveway entrance of each property and this alone shall be the only entrance to the property (circular driveway may be permitted in accordance with the ARB approval). No vehicles will be permitted to use the swales for either ingress or egress to said lot. Both the lot owner and the contractor shall be considered the responsible parties and will be billed for any damages that may occur through violations of this section. This will include, but is not limited to, replacement of damaged trees, removal of construction materials and restoration of all disturbed areas.

5.16 Mailboxes and Newspaper Receptacles

Homeowners must purchase and use an approved mailbox and newspaper receptacle designed by the developer. No deviation from the provided design will be allowed and no temporary mailboxes or newspaper receptacles will be allowed.

5.17 Soil and Sedimentation Erosion Control

Silt fences must be installed as a part of the construction process along any drainage ditch, swale or structure. In addition, a silt fence must be placed at the mouth of the driveway culvert which connects the lot to the street.

Section VI – Design Standards

6.1 Square Footage Minimums:

The home must have as a minimum heated and cooled living space the number of square feet as required in the Supplemental Declaration Covering the particular lot.

If the house contains 1½ stories, then at least 75% of the gross square footage be included in the first floor above grade.

If the house contains 2 or more stories, then at least 60% of the gross square footage shall be included in the first floor above grade.

- 6.2 Roofs: Main House minimum pitch: 7"/ 12"
 Porch and Accent Roofs: 4"/ 12"

Variances to the roof pitch minimums may be considered for special designs on a case by case basis in the sole discretion of the ARB.

- 6.3 Dormers: Required on one story and one and one half story homes.

Roof Pitch Minimum: 7"/ 12"
Shed Roof exception: 4"/ 12"

Variances to dormers may be considered for special designs on a case by case basis in the sole discretion of the ARB.

- 6.4 Shingles: Shingles are to be of architectural grade (240 lb.) minimum and 40 years minimum: blue, red and white colored shingles shall not be permitted.

6.5 Garages:

- a. All garages will be attached to home by attached roofs.
- b. Side entry or loaded garages are preferable.

- c. Any front entry garages will be required to provide a high quality garage door which compliments the architectural style of the residence.
- 6.6 Garage Door: Architectural detail trim and entry design must be reflected in the garage entry.
 - 6.7 Entrance: Entrances must be emphasized and shall clearly stand out on front elevation. Porches that are covered with accent roofs are encouraged. Where existing supports are required, decorative columns or pilasters must be used. Entry doors must be emphasized with architectural detail trim, sidelights or transoms.
 - 6.8 Windows: Detail trim of entry door must be reflected in window trim. Muntin window dividers are required on front elevation and are encouraged throughout design.
 - 6.9 Siding:
 - a. The base shall be either brick or rock/stone. No bases of vinyl, aluminum or metal shall be permitted.
 - b. No vinyl siding shall be allowed. No vinyl, stucco or aluminum fascias and/or soffits shall be allowed.
 - c. Allowable exterior wall surfaces shall be brick, rock/stone, cedar, Cyprus, Stucco, cement based and hardboard sidings.
 - d. Side elevations must be broken up by windows, offsets in the wall line, and or by using other materials and textures.
 - e. If the front siding material is different from the materials used on the sides, then the front siding material shall rap around the corner and the side of the building for a minimum of 24".
 - f. Rear elevation must be broken up with windows, offsets in the wall Line, porches, decks, and or screen porches.
 - 6.10 Architectural detail trim accents are required at corners, windows, and doors. Details must be clearly shown and specified on elevations.

Details such as change of material, accent in the material (Quoins, horizontal bands, trim boards, etc.) are samples of acceptable Architectural details.

- 6.11 A color board must be provided with actual samples of the materials and all colors to be used.
- 6.12 Design standards may be set for the separate Theme Villages and they

may vary from these design standards; however, in all cases design standards for the particular theme village shall be set by the ARB prior to construction.

Section VII – Fees and Bonds Which Must Accompany Plan Submitted To The ARB

- 7.1 Architectural Standards review fee: ^{2,000.00}~~\$250.00~~. Make check payable to: Rivers Edge Golf Club & Plantation ARB.
- 7.2 a. A compliance bond in the amount of \$2,000.00 in the form of a check from the Owner or Builder must be deposited with the ARB prior to commencement of construction on the building project. This compliance bond is for the purpose of insuring compliance by the contractor with these rules, the Master Declaration and any other specific requirements imposed by the ARB under these documents or as contained in the Contractor Department Agreement. The Owner and/or Builder will be notified by the ARB Contract Administrator of any infractions and any fine assessed by the ARB in writing and given appropriate time to correct the infraction. Infractions which are not corrected within the allowed time will result in a fine as the ARB deems appropriate and will be deducted from the compliance bond before a refund of the bond and the issuance of its final approval certificate.
- b. If the home is completed and ready for occupancy prior to the landscape work being completed according to the approved landscape plan, the ARB will require a landscape performance deposit in the amount of \$5,000.00 before it gives approval to BEMC (the electrical supplier) to hook up electrical service to the home. Should the homeowner fail to complete the landscape work within forty-five (45) days after the certificate of occupancy is issued, the ARB will proceed to have the landscaping done on the lot and pay for it out of the landscape performance bond or deposit.

Section VIII – Field Review / Notify ARB Administrator For Review

- 8.2.1 Pre-Clearing Inspection
- a. Stake lot corners and string property lines.
 - b. Stake house foundation and string each line.
 - c. Mark trees to be removed with surveyors tape.
- 8.2.2 Foundation Inspection

- a. Stake and string property line.
 - b. Foundation to be staked by registered surveyor.
 - c. String foundation lines at the height of finished floor.
- 8.2.3 Dry in. Notify the ARB Administrator when the walls are framed, roof is in place, and windows and doors are hung.
- 8.2.4 Final: Notify the ARB Administrator when residence is complete, including landscaping. Upon final approval, the Administrator will issue a final approval certificate and Brunswick Electric Membership Corp. will connect permanent power.
- 8.2.5 Building permit: These reviews and approvals are in addition to those required by the local Building Department.

Section IX – Appeals of Architectural Review Board Decisions

- 9.1 An applicant receiving a negative decision from the ARB is advised to revise the plans in accordance with recommendations and resubmit them to the Committee for review.
- 9.2 If the applicant, in reason, is unable to comply with the Requirements of the ARB, he may request a hearing before the Board of Appeals. The request must be made in writing and directed to the Board of Appeals.
- 9.2.1 The Administrator shall convene a meeting of the Board of Appeals within fifteen (15) days of receipt of request.
- 9.3. The Board of Appeals will initially consist of 3 members to be appointed by the Developer and is not to include current members of the Architectural Review Board.
- 9.3.1 The Board of Appeals may request consultation of other professionals as it deems necessary.
- 9.4 The Board of Appeals will conduct a review of the most recently disapproved plans of the applicant.
- 9.4.1 The appellant will be given an opportunity to speak before the Board of Appeals, using whatever visual aids he feels appropriate.
- 9.5 All Board of Appeal's members must be present for a quorum.
- 9.5.1 The majority vote of the Board of Appeals will carry a decision.

9.6 All decisions of the Board of Appeals will be final.

Section X – Contractor Department

10.1 The Contractor carrying out the construction project must hold an unlimited North Carolina Contractor's License. The Contractor, in carrying out the construction project, shall comply with the Declaration of Covenants, Conditions and Restrictions which apply to the lot on which construction is occurring. In addition, he shall insure that his subcontractors, material delivery men, his and their agents and employees, comply with these requirements together with the rules and regulations contained in these guidelines.

IN ADDITION, THE CONTRACTOR SHALL EXECUTE AND DELIVER TO THE ARB ADMINISTRATOR, THE CONTRACTOR DEPARTMENT AGREEMENT ATTACHED TO THESE GUIDELINES AS EXHIBIT B PRIOR TO COMMENCEMENT OF CONSTRUCTION.

Section XI – Variances

- 11.1 The ARB may grant variances from these guidelines to alleviate hardships in any particular case, to adjust for physical conditions where strict compliance would not be practical and to accommodate any particular special design that the ARB feels is compatible with the surrounding area, but not in strict compliance with these guidelines.
- 11.2 All variance requests must be in writing describing:
- a. A complete description of the variance requested.
 - b. Reason for the variance request. The request must be submitted with the project submission.

Section XII – Amendment

- 12.1 The foregoing rules and regulations may be amended at any time by majority vote of the Architectural Review Board.
- 12.2 No prior notices or announcements will be required to amend these rules and regulations.
- 12.3 Any preliminary or final plan, marked received, shall be subject to the rules and regulations applicable at that time.

Section XIII – Impervious Surface Coverage Allowable

The impervious surface coverage allowable on any lot shall be controlling, notwithstanding any conflict with these guidelines.

Section XIV – Priority of Documents

The Master Declaration is superior to the Supplemental Declaration. The Supplemental Declaration is superior to these design guidelines. Should conflict arise between these guidelines, the Supplemental Declaration or the Master Declaration, they shall be interpreted accordingly.

Section XV – Theme Village Models Prohibited in Custom Areas

Should any Supplemental Declaration create theme villages which requires that specifically pre-approved models may only be built in the village, then in that event, no theme village model nor any modification or alteration thereof will be permitted to be constructed within any other area of the Plantation.

Section XVI – Severability

- 16.1 This document shall not be rendered invalid or unenforceable should any of the provisions of this document or the application or effect thereof be invalid or unenforceable for any reason and to any extent. Those provisions which are not invalid or unenforceable shall be enforced to the greatest extent permitted by law.

CONSTRUCTION APPLICATION

Rivers Edge Golf Club and Plantation

Date: _____

___ New Construction ___ Major improvements to existing structure

Homesite number and Street/Road _____

Owner's Name _____

Contractor _____

Address _____

Telephone/Fax Number _____

N.C. License number and classification _____

Architectural Compliance Deposit _____

PREVIOUS CONSTRUCTION EXPERIENCE

1. Have you built in Rivers Edge before? _____ Yes _____ No

Please attach a selective list of five (5) completed jobs of similar level with the Brunswick County area.

AGREEMENT

I, _____, as Contractor for the construction project described above, do hereby submit this deposit in good faith to the Rivers Edge Golf Club and Plantation's Community Architectural Control Committee for assurance that the construction will be implemented in accordance with the final plans as approved by the ACC.

I further agree that:

1. I have read the Architectural Design Standards and Guidelines, Master Declaration of Covenants, Restrictions and Easements and the Protective Covenants and do agree to follow these in full understanding.
2. I agree to construct and fulfill the plans and specifications as approved for this project in the final review by the Committee.
3. I understand that the deposit submitted will be returned in full after a satisfactory inspection, unless a deduction is necessary for any connections to streets, road shoulders or common areas.
4. I am responsible for the behavior and actions of all workers contracted to do work on this job while they are at Rivers Edge.
5. I am responsible for maintaining a clean construction site at all times and understand that I am bound by the restrictions covered under the Architectural Compliance Guidelines.

This application, agreement and deposit made this _____ day of _____, 2003

By: _____

Signed: _____

Witness: _____

DEPOSIT DATE: _____ AMOUNT RECEIVED: _____ CK.#: _____

Approved by Architectural Control Committee by: _____ Date: _____

RIVERS EDGE GOLF CLUB AND PLANTATION ARCHITECTURAL DESIGN STANDARDS & GUIDELINES

EXHIBIT A

RIVERS EDGE GOLF CLUB & PLANTATION

HOUSE PLAN SUBMISSION PROCEDURE AND INFORMATION SHEET

1. Provide your design professional with a copy of the Architectural Standards Section of your Master Declaration Notebook.
2. Provide two (2) complete sets of the building plans and two(2) complete sets of the landscape plans with completed application forms.
3. Have your Contractor sign and deliver along with the initial plan submission, the Contractor Department Agreement attached hereto as Exhibit B.
4. Prepare and present along with the plan submittal, the color board.
5. Include your submission fee check in the amount of \$250.00 made payable to the ARB.
6. If you are an outside Building Contractor, then the Contractor compliance Bond in the form of a check payable to the ARB in the amount of \$2,000.00 must be submitted. Remember, this bond is to insure that your builder complies with the Declaration governing the community and these guidelines; therefore, your builder is the person who should submit these funds; however, that is between you and your builder. The bottom line is the compliance bond as required by these guidelines must be submitted together with an executed copy of the Contractor Department Agreement before the plans will be finally approved by the Committee.
7. Turn complete package into the office of the ARB Contract Administrator Located at the main office at Rivers Edge Golf Club & Plantation.

NOTE: INCOMPLETE PACKAGES WILL NOT BE REVIEWED.

EXHIBIT B

RIVERS EDGE GOLF CLUB & PLANTATION

GENERAL CONTRACTOR DEPARTMENT AGREEMENT

Date: _____

Construction Location (Lot #) _____

Name of Owner: _____

Address: _____

Telephone: _____ (h) _____ (w)

Contractor _____

License #: _____ Telephone #: _____

Address: _____

_____ New Construction _____ Major Improvements to Existing Structure

The ARB is the body charged with enforcement of Rivers Edge Golf Club & Plantation Covenants and Construction Guidelines for construction work taking place in the Plantation. The Contractor has been chosen by an owner of a lot in the community to be the General Contractor on the above described construction project. In order to insure compliance with the community governing documents, the Restrictive Covenants and the Building Guideline, the ARB requires as a part of the project approval process that this General Contractor Department Agreement be executed and the parties wish to reduce this Agreement to writing.

NOW THEREFORE, in consideration of the mutual covenants hereinafter contained between the General Contractor and ARB acting through its ARB Contract Administrator, the parties agree as follows:

GENERAL CONTRACTOR COVENANTS

The General Contractor hereby covenants and agrees with the ARB that:

1. I have read the ARB Guidelines, Covenants, Conditions and Restrictions and do agree to follow them in full.
2. I understand and agree that both the property lines and the house footprint is to be staked by a registered land surveyor for the administrator's review prior to any construction activities on the lot.

3. I agree to carry out this project construction according to the plans and specifications as approved for this project in the final review by the ARB. No changes to these plans will be made by me without prior approval by the ARB or its Contract Administrator.
4. I am responsible for the behavior and actions of all of my employees, agents, subcontractors, suppliers and others coming on or about the job in connection with my performance under the contract.
5. For the duration of construction and upon completion of the building project, I am responsible for maintaining a clean construction site at all times. I will provide a covered container so that employees can dispose of cans, bottles, lunch bags, and other minor refuse items so that they will not be lying loose on the lot. I will also empty these containers often enough so that they will be able to support the refuse generated from the building project. I am also responsible for a thorough clean-up of the construction site upon completion of the building project.
6. I agree that should I or any other person for whom I am responsible violate any of the Covenants, Conditions and Restrictions, these guideline or any term of this Agreement, that the ARB may:
 - a. Withdraw my right to enter upon the private streets of Rivers Edge Golf Club & Plantation to access any lot in the subdivision for construction purposes, and
 - b. That any such entry by me or any other person under my responsibility who should enter upon the private streets to pursue a building project will be considered a trespass until such time as the right to enter has been restored by the ARB.
7. I agree that I will immediately stop construction on the building project at any time should I be directed to do so by the ARB Contact Administrator in writing, provided the written notice describes the manner in which I am in violation of this Agreement, the Restrictions or the Residential Design and Construction Guidelines. I further agree that any action I take after notice will be limited to the sole purpose of correcting any violation and/or as otherwise necessary to comply with this Agreement and those requirements. I will not commence work toward completion of the

building project until the stop work order has been lifted by the ARB Contract Administrator.

8. I hereby represent to the ARB that I am a licensed North Carolina General Contractor and that the license number shown at the head of this document is correct and current. I further represent to the ARB that my general contractor's license is an unlimited license.
9. I understand the compliance bond in the amount of \$2,000.00 which has been submitted to the ARB will be held by the ARB in an escrow account and should I fail to abide by this Contractor Department Agreement, the Residential Design and Construction Guidelines, and the Restrictions, that some or all of the performance bond may be retained by the ARB. Should the ARB impose a fine or charge against my performance bond, it shall furnish to me a statement as to why the fine or charge was imposed, together with the amount charged. As a guide, the Contract Administrator may impose a fine or charge for the following types of violations:
 - a. Failure to control soil run-off into ditches, adjoining lots or ponds;
 - b. Failure to provide a chemical toilet for the workers' use and failure to provide a visual screen around three sides of the chemical toilet to block it from view from owners and visitors within the subdivision;
 - c. Allowing workmen to work on Sundays before 7:00 a.m. and after 7:00;
 - d. Failure to provide the necessary refuge and trash containers;
 - e. Failure of the container to properly screen the refuge from view;
 - f. Failure to empty the trash containers;
 - g. Removal of trees or shrubs in violation of the covenants and guideline
 - h. Failure to notify the Contract Administrator timely for the various inspections; and

- i. Failure to provide proper protection and/or allowing damage to the streets or curbs by the delivery trucks.
10. Signs: General Contractor agrees to provide a builder identification sign not exceed 4'X4' and Builder Permit sign for each residential Project and to maintain the sign for the duration of each project. No other signs will be permitted. See signs Exhibit J.

ARB COVENANTS

The ARB hereby covenants and agrees with the General Contractor that:

1. The Contractor may enter upon and use the private streets in the subdivision in order to access the job site above described until and unless he is given a stop work order by the Contract Administrator because of violation of the Community Covenants, the Building Guidelines or this General Contractor Department Agreement.
2. That the \$2,000.00 performance bond will be held in an escrow account by the ARB subject to the terms of this Department Agreement. At the completion of the job, if the Contractor has not violated the Covenants, the Building Guidelines or this Department agreement, these funds will be returned in full to the Contractor; should, however, the Contractor violate any of these items, the ARB will withhold funds from this performance bond as it deems appropriate in the circumstances.
3. Should the Contractor violate any of these requirements, the ARB acting through its Contract Administrator, will notify the Contractor accordingly and if the violation is of sufficient magnitude in the opinion of the Administrator to issue a stop order to the Contractor, he shall give that order in writing specifying the reasons and deficiencies, whereupon, the Contractor shall immediately cease work until the stop order is lifted by the Contract Administrator. In this connection, should the Contractor violation be of the types shown in the laundry list under General Contractor Covenants, paragraph 10, the Contract Administrator will give the Contractor twenty-four (24) hours notice before any fine or charge will be imposed. Further, any of those type violations will carry a charge of fine of not more than \$100.00 per day per violation for the first three (3) days after the contractor has been

notified by the Administrator of the violation. Should the Contractor fail to correct these types of deficiencies within the three(3) day period after notice, the ARB may proceed to correct the violation as reasonably expedient and charge the full cost thereof to the Contractor and deduct it from the performance bond.

The parties hereto do hereby execute this Agreement on the date shown at the head of this document.

(Name of Contractor)

By: _____(Seal)

ARB

By: _____(Seal)

Contract Administrator

EXHIBIT C

RIVERS EDGE GOLF CLUB & PLANTATION

CONTRACTOR INSTRUCTION SHEET

- A. Fill out and sign the Contractor Department Agreement.
- B. Familiarize yourself with the Covenants, Conditions and Restrictions which apply to this lot.
- C. Familiarize yourself with the Residential Design and Construction Guidelines before you commence construction.
- D. Fill out and present Field Review Forms to Construction Administrator at each construction phase when home is ready for field review.

EXHIBIT D

RIVERS EDGE GOLF CLUB & PLANTATION

FIELD REVIEW – PRE-CLEARING

Owner _____ Date _____

Lot # _____ Street _____

1. The foot print of the house (HAS) (HAS NOT) been staked and complies with the setbacks.

Approved () Not Approved ()

Administrator Notes:

2. The trees to removed (HAVE) (HAVE NOT) been identified.

Reason for variance from approved plan:

Approved () Not Approved ()

Administrator Notes:

EXHIBIT E
RIVERS EDGE GOLF CLUB & PLANTATION
FIELD REVIEW – FOUNDATION

Owner _____ Date _____

Lot # _____ Street _____

The foundation (IS) (IS NOT) located as shown on approved site plan.

Reason for variance from approved plan:

FOOTER/FOUNDATION INSPECTION

(Fax, Email or deliver this form to the ASC after excavation and **before** pouring footers or slab.)

Footer/Foundation Inspection: A site inspection by a member of the ASC is required before pouring footings and/or slab. A foundation survey by a registered surveyor is required and verification must be supplied to the ASC office prior to commencing framing. This is for the benefit of both the Contractor and the Owner.

Approved () Not Approved ()

Administrator Notes:

EXHIBIT F
RIVERS EDGE GOLF CLUB & PLANTATION
FIELD REVIEW – DRY IN

Owner _____ Date _____

Lot # _____ Street _____

There (HAVE) (HAVE NOT) been changes to the approved exterior elevations.

Reason for variance from approved plan:

Approved () Not Approved ()

Administrator Notes:

EXHIBIT G

RIVERS EDGE GOLF CLUB & PLANTATION

FIELD REVIEW – FINAL

Owner _____ Date _____

Lot # _____ Street _____

The house is complete and (FINISHED) (NOT FINISHED) as shown on approved plans.

Reason for variance from approved plan:

Approved () Not Approved ()

Administrator Notes:

The landscaping is complete and (FINISHED) (NOT FINISHED) as shown on approved plans.

Reason for variance from approved plan:

Approved () Not Approved ()

Administrator Notes:

- () The landscaping is not complete and the Certificate of Occupancy is not being issued until further inspection by the Contract Administrator.
- () The landscaping is not complete; however, the homeowner is depositing with the Contract Administrator the sum of \$5,000.00 as a landscape performance guarantee pursuant to section 7.4(b) of the Building Guidelines and a Certificate of Occupancy is being issued.

EXHIBIT H
RIVERS EDGE GOLF CLUB & PLANTATION
CERTIFICATE OF OCCUPANCY

Owner _____ Date _____

Lot # _____ Street _____

This is to certify that the home on the above-referenced lot has been substantially completed and is in compliance with the community documents and the Residential Design and Construction Guidelines governing RIVERS EDGE GOLF CLUB & PLANTATION.

Further, the home may be occupied by the owner.

This the _____ day of _____, _____.

RIVERS EDGE GOLF CLUB & PLANTATION
ARCHITECTURAL REVIEW BOARD

By: _____
Contract Administrator

Amendment #1

Memorandum – December 19, 2007

To: Builders, Rivers Edge Land Consultants, and Applicants
Fr: Erica Cumbee, ARB Administrator
Re: Addendum

Amendment to the Rivers Edge Golf Club & Plantation™
Residential Design and Construction Guidelines
Effective December 19, 2007

- 1.) All builders/contractors must properly install silt fencing around construction sites to hold/prevent washing of sediment from the site into the storm water drainage system and common area thoroughfares.
- 2.) Should concrete runners be used, they should commence at a minimum distance of ten feet from the back of the existing curb.
- 3.) Please note that irrigation wells and irrigation pump enclosures must receive ARB approval. The board's recommendations regarding pump locations include the options of placing the pump within the home's crawl space, within the home's garage, in a designed and approved full height garden shed, or within an expanded service yard/HVAC condenser screen. All recommendations should be verified by the owner/contractor for compliance with all applicable codes and regulations prior to installation.
- 4.) The receipt of an as-built survey will be a condition of the construction deposit refund. Any impervious greater than the allowable must be removed at the owner's/contractor's expense. The roof overhang and the area of driveway from the property line to the back of the curb are required to be calculated in the total impervious amount.
- 5.) Workers are only allowed access between 7 a.m. and 7 p.m., with no construction work on Sundays and holidays.
- 6.) Two Sets of the site plan, floor plans, and elevation drawings are required on 11x17 paper (larger sets will not be accepted), drawn to scale, inclusive of a graphic scale, for all submittals except final applications, which should follow the criteria stated in the design guidelines.
- 7.) Additional Forms Attached: Application Checklist, Pervious Form to be submitted with the proposed use of pervious surfaces for driveways, patios or sidewalks, Additional Application Forms (Preliminary Review Application, Final Review Application, Architectural Questionnaire, Request for Final Inspection/Deposit Refund, Minor Change Application)
- 8.) One set of approved plans will be marked "Approved" and will be available for builders to pick up prior to the commencement of construction.
- 9.) The Mailbox Fee will be collected as part of the final application.
- 10.) A revised schedule of Fees is attached.
- 11.) Fines may be imposed per incident by the ARB. Failure to correct these violations may result in holds on present and future permits to construct at Rivers Edge Golf Club & Plantation™. The ARB reserves the right to impose additional fines other than those listed in the attached list and to permanently prohibit flagrant and/or habitual violators of the Residential Design and Construction Guidelines.
- 12.) If the Architectural Review Board incurs legal fees to enforce the Residential Design and Construction Guidelines, the builder/owner will be required to reimburse the ARB for these fees.

Rivers Edge Golf Club & Plantation™ - Schedule of Fees and Fines

FEES

Compliance Deposit	\$2,500
Non-Refundable Plan Review Fee	\$4,100 2,800
Addition & Renovation Review	No Charge - \$300*
Enclosure Review (existing homes only)	\$250
Non-Refundable Road Usage Fee to the POA	\$500
Mail/Newspaper Box	\$400
Landscape/Design Change Review (existing homes only)	\$300
Alteration/Addition (existing homes only)	\$300

* A maximum of 5 non-structural changes during the construction process: No Charge
After 5 non-structural change: \$100 each change

Non-Structural Changes	Structural Changes
- Front Entry doors & side lights	- Brick/Siding changes
- Shutter changes	- Window
- Driveway changes	- Dormers/Gables
- Shingle changes	

VIOLATIONS-ENFORCEMENT & FINES

The following fines per incident may be imposed by the ACC. Failure to correct these violations may result in holds on present and future permits to construct at SeaScape at Holden Plantation™. The ACC reserves the right to impose additional fines other than those listed below:

FINES

1. Home site Improvements not complete within (12) Months of Commencement	\$25/day
2. Loud Music on Job Site	\$50/incident
3. Parking on Adjacent Property w/out Written Permission	\$50/incident
4. Employees without Shirts	\$50/incident
5. Pets on Job Site	\$50/incident
6. No Children are allowed on Construction Sites	\$100/incident
7. Littered Site	\$50/day
8. Not Providing Screened Portable Toilet	\$100/day
9. Damage from Improper Erosion Control	\$50/day
10. Burning	\$200/incident
11. Damage to Adjacent Property	\$250-\$1000/per day
12. Construction Equipment/Materials on adjacent homesite or right of way without written permission	\$400/incident
13. Damage to Golf Course	cost to repair/incident
14. Damage to Common Area, Right of Way & Pavement	cost to repair/incident
15. Construction Prior to Required Site Inspection Approval	\$150/day
16. Working on Sundays, Holidays, or during unauthorized Hours	\$500/incident
17. Unauthorized Changes to Approved Plans (possible holds on future approvals)	\$1000/incident
18. Unauthorized Exterior Materials (possible holds on future approvals)	\$1000/incident
19. Improper Signage	\$500/day
20. Damaging or Destroying Specimen Tree	\$1000/cost to replace
21. Debris removed and dumpsters covered within 24 Hours of projected landfall of a hurricane as Forecasted by the National Weather Service	\$2500/incident
22. Unapproved exterior changes that require ACC approval authorization prior to installation (i.e. satellite dish, flag pole, fountains, etc.)	\$50/day
23. Installation of Improper Silt Fencing or damaged Silt Fencing	\$500 charged immediately

Date:

Pervious Pavement Form

Project Name _____

Lot Number _____

Community _____

Design Criteria

1. Completed permeable pavement installation shall have a slope of less than 0.5%
2. Soils must have sufficient infiltration capacity (2in/hr permeability) for the top 3 feet. of soil
3. Only 2 acre-feet of soil per acre disturbed can be graded for the pervious pavement footprint
4. The top 3 -feet of soil must have no finer texture than Loamy very fine sand as determined by a soil analysis
5. Percent of credit for built upon area(up to 60%) *2
6. Maintenance agreement- home owner is responsible for maintenance

	Yes	No	
1			Submitted site plan
2			Attached Soil report with Seal (*1)
3			Provide total pervious square feet/43560 =
4			
5			
6			

*1 Soil report must be sealed by a Registered Soil Scientist

* 2 Example - 1000 sf pervious area

60% credit = 600

1000 -600 = 400 square feet(400 sf is used verses 1000 sf)

please note that if the site is located within .5 miles of an SA water designation only one have of the maximum credit allocation can be used

Architectural Questionnaire

**Rivers Edge Golf Club & Plantation™
Architectural Review Board**



Date: _____

To be completed by all architects/designers submitting documents for approval at preliminary and final stages

PRELIMINARY

FINAL

Homesite number _____

Owner's name _____

Architect's/Designer's name (hereafter called "the designer") _____

Firm _____

Address _____

Tel/Fax _____

NC Registration number _____

1. Has the designer visited the site? yes no
2. Date of last visit _____
3. Has the designer read the Master Declaration of Covenants, Restrictions and Easements, the Protective Covenants, and Architectural Design Standards and Guidelines, and designed the home accordingly? yes no
4. Has the home been designed according to the standard residential building code, especially in regard to wind resistant construction? yes no
5. Has the designer attempted to minimize the amount of site to be graded? yes no
6. Has the designer attempted to minimize the removal or damage of existing vegetation? yes no
7. Does the building(s) block principle views from dwellings on adjacent properties or properties across the street? yes no
8. If yes, has an attempt been made to minimize this effect? yes no
9. Has the house been staked out on the homesite? (required prior to submitting this form)
(Trees to be removed to be tied with orange surveyor's tape) yes no
10. Area of homesite _____
11. Highest existing grade adjacent to principle structure _____
12. Height of structure (highest roof) above this point _____



- 13. First floor elevation (FFE)
(minimum 3' above grade to bottom) _____
- 14. Area under perimeter of all construction (building footprint) including all decks, stairs and roof overhangs

- 15. Mean finished grade within this footprint _____
- 16. Percentage of site to be graded _____
Note: This area should be kept to a minimum and generally include only the building pad, drive and walk area
- 17. Enclosed area under main girders _____
- 18. Screening materials _____
- 19. Heated first floor area _____
- 20. Heated mezzanine area _____
- 21. Heated second floor area _____
- 22. Total heated area _____
- 23. Total of screened porch under roof _____
- 24. Total square footage _____
- 25. Total screened porch area _____
- 26. Total of deck and balconies _____
- 27. Are there any variances from the Architectural Review Board standards being requested under this application? _____
If yes, please describe and give reason(s) _____
- 28. Describe and give color for exterior materials for the following:
 - a. Siding/wall finish
Color _____
 - b. Trim
Color _____
 - c. Roofing
Color _____



d. Doors _____
Color _____

e. Grade level screening _____
Color _____

f. Paving _____
Color _____

g. Other _____

29. Total impervious surface coverage _____

To the best of my knowledge, the foregoing statements are true.

Architect's/Designer's signature

Date

Preliminary Review Application

**Rivers Edge Golf Club & Plantation™
Architectural Review Board**



Date: _____

Homesite Number _____ Date of Preliminary Approval _____

Section Number _____

Street/Road _____

Owner _____

Address _____

Telephone _____

Architect/Designer _____

Address _____

Tel/Fax _____

Surveyor _____

Landscape Designer _____

Address _____

Tel/Fax _____

UTILITIES

PRIVATE WELL FOR IRRIGATION

FOR ARB USE:

SKETCH PLAN APPROVED

ARCHITECTURAL QUESTIONNAIRE

FLOOR PLAN

SAMPLE BOARD

SITE PLAN

ELEVATIONS

SURVEY

LANDSCAPE PLAN

BUILDING STAKED IN FIELD

COMMENTS: _____

ON-SITE INSPECTIONS

APPROVED/DATE _____

DISAPPROVED _____

Final Review Application

**Rivers Edge Golf Club & Plantation™
Architectural Review Board**



Date: _____

Homesite Number _____ Date of Preliminary Approval _____

Section Number _____

Street/Road _____

Owner _____

Address _____

Telephone _____

Architect/Designer _____

Address _____

Tel/Fax _____

Surveyor _____

Landscape Designer _____

Address _____

Tel/Fax _____

UTILITIES

PRIVATE WELL FOR IRRIGATION

FOR ARB USE:

SKETCH PLAN APPROVED

ARCHITECTURAL QUESTIONNAIRE

FLOOR PLAN

SAMPLE BOARD

SITE PLAN

ELEVATIONS

SURVEY

LANDSCAPE PLAN

BUILDING STAKED IN FIELD

COMMENTS: _____

ON-SITE INSPECTIONS

APPROVED/DATE _____

DISAPPROVED _____

Maritime Village

RIVERSIDE

© 1988 CLUB & PLANTATION



The Maritime Village Theme

The Maritime Village is located within Rivers Edge Golf Club and Plantation, a spectacular riverfront golf community nestled in Brunswick County, NC, between the historic port City of Wilmington, NC and the bright lights of Myrtle Beach, SC.

The Maritime Village has been created as a part of this planned community to celebrate the historical context of the land. All homes will characterize the gracious Low Country Architecture of the old south.

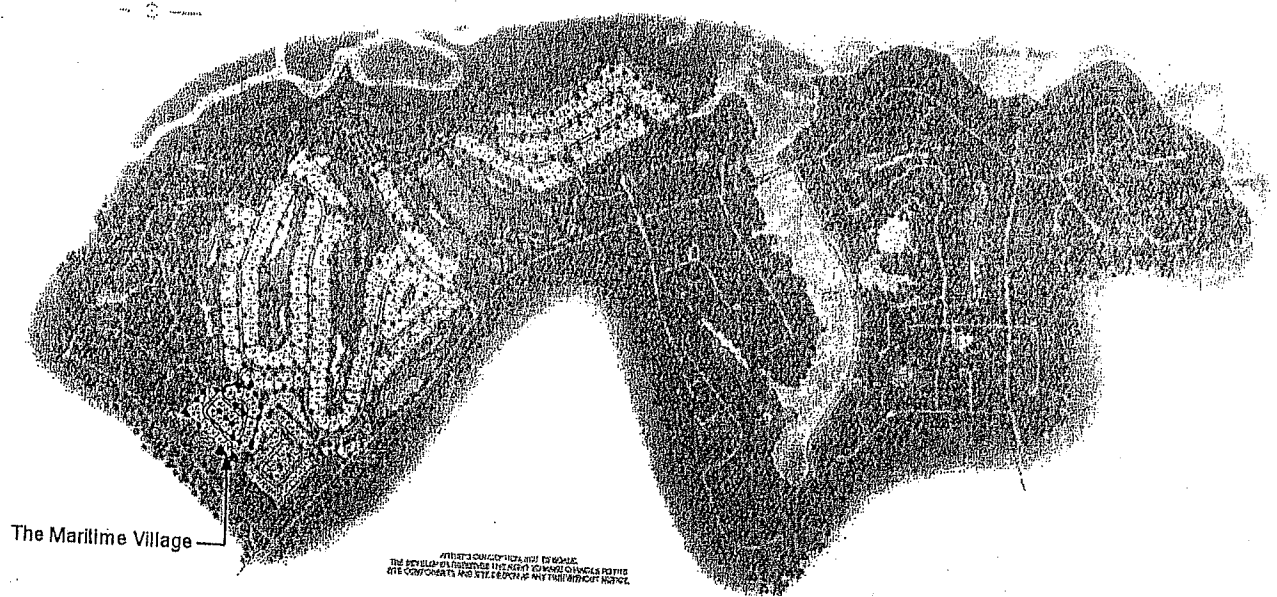
A sense of community will be created by including consistent Low Country Architectural elements such as wide, sweeping porches, tall ceilings, transom windows, massive columns and other details reminiscent of the early 1800's. It is the intent of the Rivers Edge Golf Club and Plantation Architectural Review Board (ARB) to create a strong sense of community while providing an intimate setting for your home within the Maritime Village.

Low Country Architectural Styles and Site plan information can be found throughout this booklet. To understand the desired character and high quality architecture that will be found within the Maritime Village, please review the illustrations presented on pages 8-10.

The Rivers Edge Golf Club and Plantation Architectural Review Board (ARB) has prepared this document to help illustrate the elegance and grace of 18th and 19th Century Low Country Plantation architecture, and to assist you in the design of your home within the Maritime Village.

Site Reference

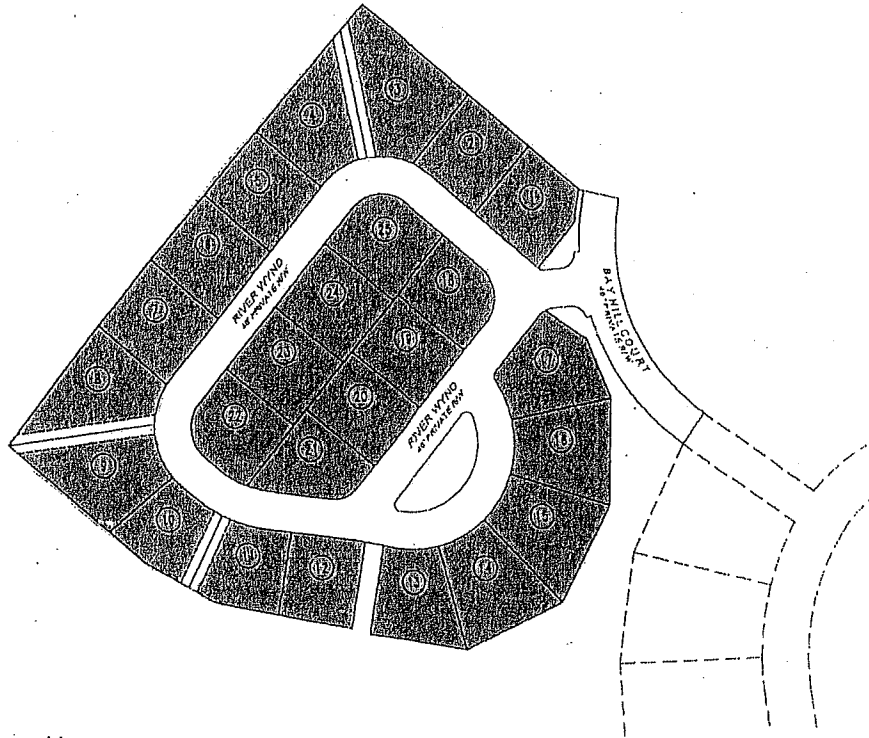
This site plan is a graphic representation of the Rivers Edge Golf Club and Plantation and should be used for preliminary planning purposes only. The developer has the right to change all components of the site plan at their discretion without notification.



Description of Guidelines

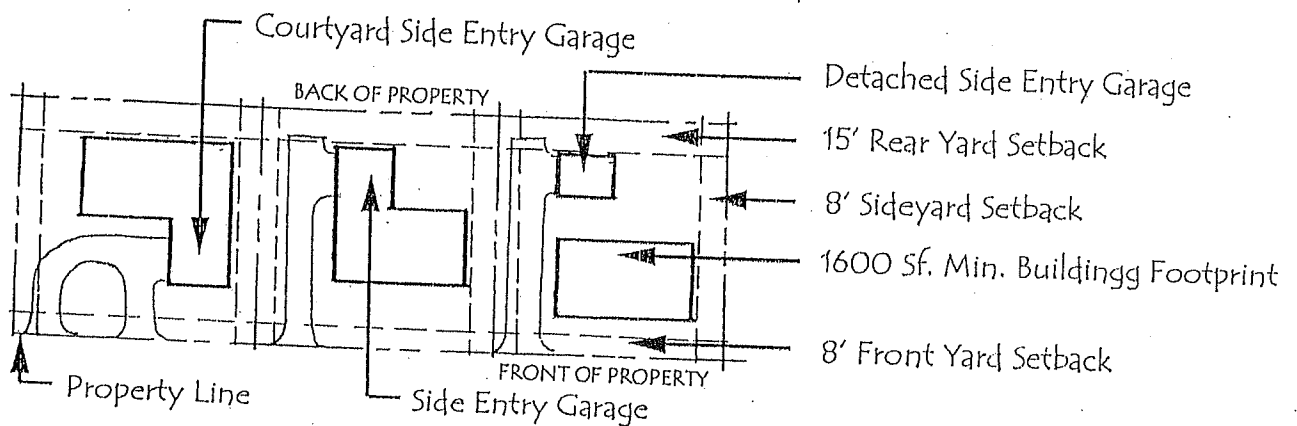
Enclosed guidelines should be used for the Maritime Village at the Rivers Edge Golf Club and Plantation. Review processes, forms, and information not covered in this addendum can be found within the Residential Design and Construction Guidelines Document. Guidelines presented within this addendum are to serve as Site Standards and Design Standards for the Maritime Village. All other sections of the residential design and construction guidelines shall be followed as presented within the original guideline document.

The Maritime Village



This site plan is a graphic representation of The Maritime Village at Rivers Edge Golf Club and Plantation and should be utilized for preliminary purposes only.

Maritime Village Setbacks



Architectural Standards

A. HOME STYLES

Individual homes should not be repetitive from homesite to homesite along a neighborhood street. Rather, individually designed homes with consistent architectural style of the area are encouraged. Each home shall have as a minimum a 2-car garage.

B. SIZE

Single-Family residences of the Maritime Village shall have a minimum building footprint of 1,600 square feet of heated, and cooled living space. This square footage is exclusive of garages, terraces, decks, open porches, roof overhangs, and stairs.

C. FINISHED FLOOR ELEVATIONS AND CEILING HEIGHTS

Each residence submitted for review shall be analyzed according to site topography and adjacent structures. Due to its architectural appropriateness, all single family homes shall be constructed on a raised crawl space with a minimum dimension of 36" to the bottom of the first habitable floor. No slab construction will be allowed.

The ARB recommends that the floor to ceiling height for the first floor be a minimum of 9'-0" and the second floor be a minimum of 8'-0".

The height of the dwelling may not exceed forty (40) feet in height. This will be measured from the finished grade at the center point of the front façade of the home to the highest point of the roof.

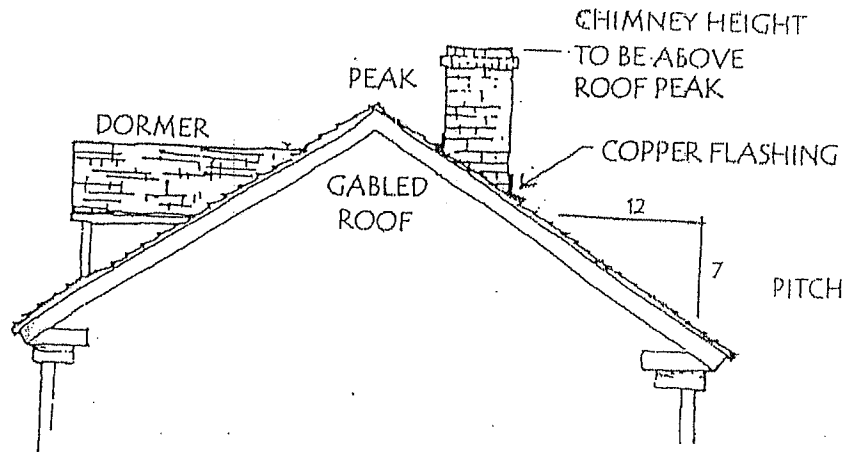
D. ROOFS

In keeping with the traditional Low Country Plantation theme, the roof appearance is of great importance. The pitch of the main structure should not be less than 7 feet in 12 feet.

Pitches for porches, breezeways and other secondary structures could be less. Hip and gable roofs are commonly seen. The use of dormers are also common. Flat roofs (pitch less than 1/12) are only acceptable when used to create an 18th century character. Roof materials in the Maritime Village are restricted to fiberglass shingles, cedar shakes, or standing-seam metal roofing. Fiberglass shingles shall be Timberline, as manufactured by GAF or of equal quality with a 40 year warranty and be dimensional.

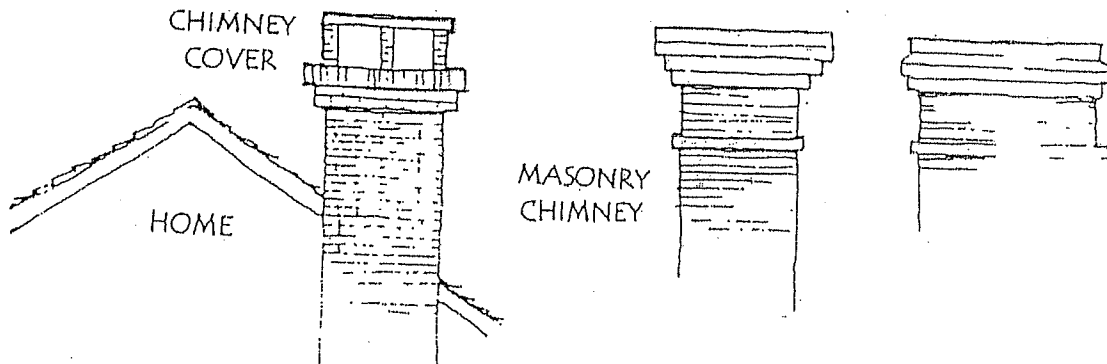
No mansard roofs will be allowed. Contemporary or other irregularly pitched roof styles will not be allowed.

All roof penetrations, such as gas flues, exhaust vents, plumbing vents, skylights, etc should be located on the rear roof slopes so that they are not readily visible from the street and must be a color that is compatible with roof color. Any penetrations, which are visible from the street, must be approved by the ARB in writing prior to installation.



E. CHIMNEYS

Chimneys can be important part of the architectural statement of the Low Country Plantation theme. Their location and massing should be in keeping with that theme. Chimney finishes are restricted to brick. No exterior metal fireboxes are permitted unless encased in brick surrounds. Interesting and appropriate detailing at the chimney peak is required.



F. GARAGES

Since the ARB will pursue architectural authenticity and since garages were nonexistent in the antebellum south, garages will present the greatest design challenge. Great care should be taken to subdue the presence of the garage. Interesting wall offsets, detailed exterior finish treatments and attached arbors are just a few of the ideas that can be employed. A three-car garage is the maximum allowed. All doors should be compatible with the exterior design and therefore will be custom embellished as necessary. All garage doors will have an automatic opener and should be kept closed when not in use. Generally, where homesite frontages allow, side entry garages will be required. Where site constraints exist, a courtyard garage or rear entry garage may be permitted. All garage locations shall be reviewed by the ARB. Carports are not allowed. See illustration on page 4 for description of garage locations.

Garages shall be located, and treated so that the garage does not visually dominate the approach to homes. When garages are detached, they shall maintain the architectural style of the residence. Covered walkways are encouraged between detached structures.

G. FACADE TREATMENTS

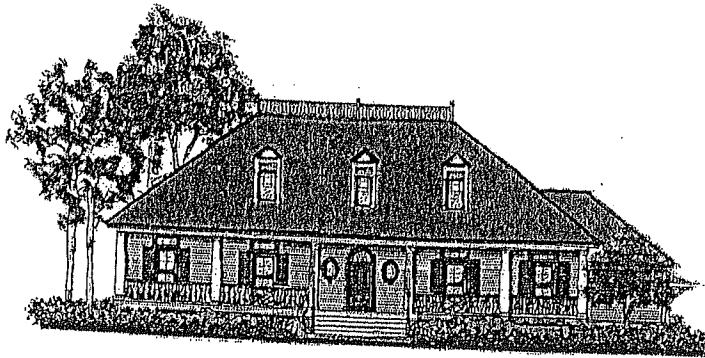
While a variety in façade treatments is encouraged, a strong emphasis should be placed on traditional elements. The use of broad covered porches and entrances is encouraged. Symmetry is encouraged. All facades should illustrate a clean well thought out appearance. Primary exterior wall finishes shall be lap cypress, cedar, unbeaded or beaded edge clapboard. All electrical meter bases and other similar devices attached to the exterior of a building shall be painted to match the siding or trim. All trash receptacles and exterior air conditioning condensers must be screened in such a way as to integrate them into the principal structure. Detailing must be consistent on all elevations and structure. See pages 8, 9, and 10 for sample architectural illustrative of Low Country Styles.

H. HOUSE IDENTIFICATION

Every home will have a number identification located on the mailbox so emergency vehicles can make readily identification. The location and size of numbers will be uniform and at the discretion of the ARB. Installation of the mailbox and the house identification post should be in the locations that are approved by the ARB. See page 10 of the Rivers Edge Golf Club and Plantation Residential design and Construction Guidelines.

Low Country Architectural Styles

A.



B.



C.



Low Country Architectural Styles

D.

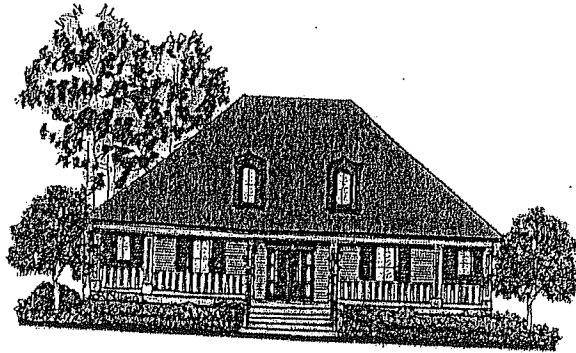


E.



Low Country Architectural Styles

F.



G.



I. **DOORS**

Exterior doors should be appropriate to the Architectural theme. Included in this might be six panel doors with side lights or French doors with integral muntin bars. Exterior sliding doors are not permitted except on rear elevations, not visible from the street. All doors including sliders, shall have integral muntins. Leaded glass may be allowed when glass is clear, however, it must be pre-approved by the ARB. Storm and screen doors are not permitted unless they are of the appearance of a typical exterior door (such as a six-panel door with glass in the panels instead of wood) or they are fully louvered wood doors. In all cases, storm and screen doors of this type must be pre-approved by the ARB.

J. **WINDOWS/ ROOF WINDOWS**

Windows are restricted to single hung, double hung (6 over 6 or 6 over 9, etc.) units. Whole or integrally divided lights are preferred, the use of snap-in grilles is acceptable. The grille or light patterns for the windows shall be appropriate for Low Country Architecture. Storm windows will not be permitted. Window insect screens shall be gray. Window proportion shall be in keeping with the Low Country theme. Only the use of the highest quality wood and clad windows will be permitted. Glass block is not permitted.

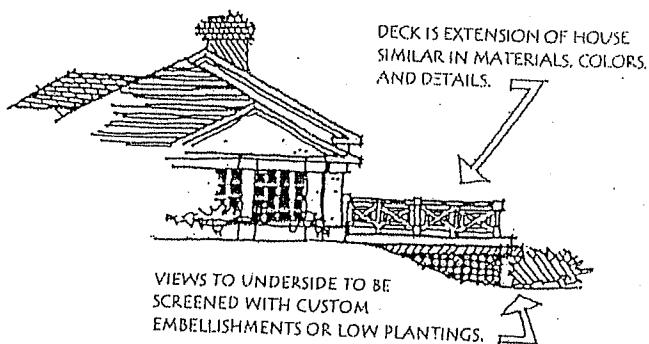
Skylights and/or roof windows will not be allowed on the street, left or right elevation(s) of the home. These roof windows will only be permitted on the rear elevation. Dormer windows are the preferred alternative. Dormers must also maintain an alignment balance with the home elevation.

K. **SCREENED PORCHES**

When covered screen verandahs are desired, they should be designed to appear as an open porch that has been screened at a later date. This includes the use of columns and handrails much like those that would be used for an open porch with screen inserts. Porch screening will be limited to bronze or copper.

L. **DECKS AND PORCHES**

Detailing of all patios and decks must be architecturally compatible with the home. Patio and decks shall be designed to serve as an extension of the residence. Rails, pickets and underpinning should be painted to match the trim of the house.



Views to the underside of decks and porches must be screened with underpinning and/or landscape material large enough to provide screening upon installation.

M. CORNICES AND EXTERIOR TRIM

The exterior appearance and unique detailing of your home contribute to the overall quality appropriate to the Maritime Village. Detailing shall include the use of traditional crown molding and decorative cornices, as well as authentic craftsmanship around window and door openings, and at exterior porch railings. Such detailing must be consistent on all elevations of the home.

N. AWNINGS AND SHUTTERS

Awnings and canopies shall not be permitted or affixed to the exterior of the residence without the prior approval of the ARB. Hurricane storm shutters shall not be stored on the exterior of the residence.

Exterior shutters, when used, should be an integral architectural feature. Vinyl shutters are not permissible. Storm coverings may be installed over openings only as an impending storm approaches.

O. BUILDING MATERIALS

Only the highest quality of materials shall be used in Rivers Edge Gold Club and Plantation. Materials shall be utilized and applied consistently on all sides of the building and in a manner consistent with the manufacturer's instructions and good building practice.

P. COLOR

All exterior colors shall reflect traditional Low Country Plantation Architectural Styles. Whites, grays, and soft pastels are recommended for exterior siding with white trim and a dark accent color for shutters and the single main entrance doors.

Q. OUTBUILDINGS

No homesite shall have an outbuilding.

R. UTILITIES

Heating: Electric heat pumps for heating and air conditioning are commonly used in this climate. Units should be located in an inconspicuous place on the back side of the house and are required to be screened with a minimum 3' high wall or screen of material similar to the house facades or landscape elements.

Passive Solar Heating: Such design elements are not forbidden, but will be reviewed for authenticity in design with relation to the historical architectural theme: i.e., if they are incorporated into the "Low Country" architectural design tastefully, without detriment to the overall elevations or façade, then they may be approved.

Electric, Telephone, Television Cable: All of these utilities are served underground to the individual homesites and shall be taken to the house and any outbuildings as required, underground, by the individual owner. Meter boxes shall be located in an inconspicuous area on the house, and covered as allowed by building code. TV antennas of any type, satellite dishes (except for 18" dishes), and other electronic hardware, or receiving units will

not be permitted. Location of an 18" dish will be approved by the ARB, if it is within a alcove of the principal or secondary structures, with no street visibility allowed.

Any otherwise permitted antenna shall be painted in a fashion that will not interfere with reception so that it blends into the background against which it is mounted. Any otherwise permitted antenna shall be placed behind the front line of the dwelling and in a location not visible from any street.

Plans showing the proposed location of an antenna must be submitted to the Architectural Control Committee prior to installation. Such plans shall be deemed approved if the owner is not advised in writing of disapproval within twenty-one (21) days following proper submission of plans.

S. IMPERVIOUS SURFACE COVERAGE

Pursuant to stormwater rules adopted by the State of North Carolina, and applicable permit requirements, each homesite is subject to a maximum impervious coverage of 4,000 square feet per homesite. Impervious surfaces include the roof of any structure, and all asphalt, gravel, concrete, brick, stone, slate, and similar materials, not including wood decking or the water surface of swimming pools. No drainage swales may be filled in or piped except as necessary to provide a minimum driveway crossing. These restrictions are set forth in the Protective Covenants for each phase of the project.

T. SUMMARY.

The developers of Rivers Edge Golf Club and Plantation and the Architectural Review Board (ARB) have consciously determined that the Southern Low Country Plantation architectural flavor shall be the thematic style for the Maritime Village located within the Rivers Edge Golf Club and Plantation. To this end, the architecture should strive to reflect historical architectural characteristics of this region and period.

Landscape Design

Perhaps the most important aspect of a successful Site Plan is the planting budget. This money well spent to increase the value and appeal of your new home. Landscape improvements should total 5%-6% of total home and homesite costs.

PLANTING APPROACH:

The Landscape Plan itself should sufficiently:

1. Focus and enhance views
2. Create outdoor spaces
3. Accentuate architecture
4. Screen utility areas
5. Break up the foundation of the building
6. Buffer driveways and parking areas adjacent to property lines
7. Provide cover for areas disturbed during construction

Plants for screening should be of appropriate, with sufficient size and spacing to ensure an adequate buffer within a year's growing season. Foundation plantings, likewise, should be able to screen any crawl spaces under enclosed areas or decks. Utility uses such as cutting and vegetable gardens, should be incorporated into the garden, so as not to be unsightly.

Plant materials should compliment native species and be compatible with existing environmental and ecological conditions. The cutting of forest understory is permissible to open up views to wetlands, but should be kept to a minimum, leaving vegetation for buffering, privacy, and landscape definition: The cutting of the forest canopy is prohibited, except for removal of dead branches and straggly material. In cases where an understory is not present, then the addition of small flowering trees, grouped in clusters, should be considered in the Landscape Plan. All cutting and limbing is subject to the approval of the ARB.

The landscaping approach should concentrate your planting efforts adjacent to the house, especially near the entry. Ornamental plants, if used correctly, will provide a transition, from the natural character of the site to the man-made structure of the home. The groundcovers should begin this transition, which should progress to larger shrubs closer to the house. For maximum appeal, try to mix textures and colors, but do keep the plan simple. A better effect can be achieved from using quantities of a few species rather than a few plants of many species.

The plant palette should emphasize the use of native and ecologically appropriate horticultural varieties. Hardiness, drought tolerance, and non-invasive characteristics should be sought. Plants capable of adapting to seasonal moisture fluctuations are preferred over those requiring large volumes of water. Irrigation requirements should be minimized to areas adjacent to buildings,

gardens, and lawn areas. If necessary, drip irrigation use is recommended. Maintained lawn area shall not be greater than 70% of the allowable disturbed areas.

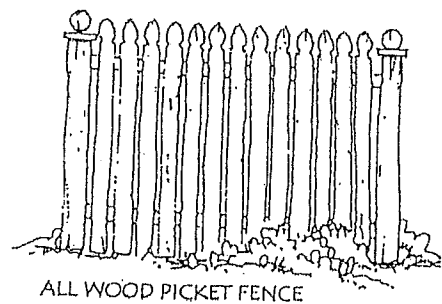
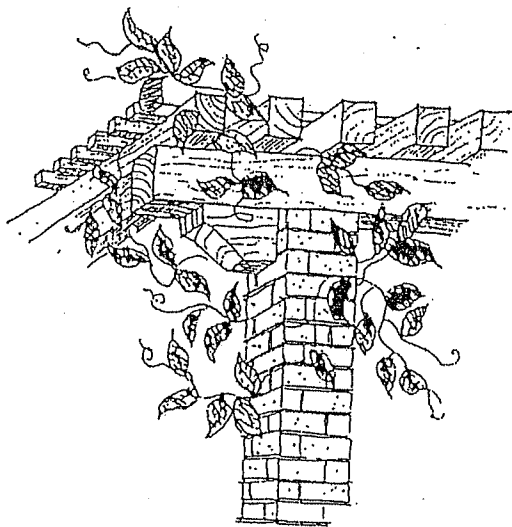
Finally, a word on plant maintenance. A successful Landscape Plan for your plantation home should be one that eliminates time consuming maintenance. Pruning should be done with a "light hand" to avoid an over manicured appearance.

Site Improvements

A successful Landscape Plan is composed of a number of elements that, with quality design and good execution, contribute to a unified marriage of the natural environment and man-made elements introduced to the site. These introduced elements will be reviewed by the ARB for approval. The Landscape Plan, likewise, will be reviewed by the ARB for effectiveness in solving some of the issues outlined in this section.

A. TRELLISES AND ARBORS

These functional structures can also be very pleasing landscape elements, which fit well into the Low Country Plantation theme. It is important to view these as permanent structures and design them to withstand the test of time. Use adequately heavy members for a support structure with no less than 2" nominal dimension for the lightest members.



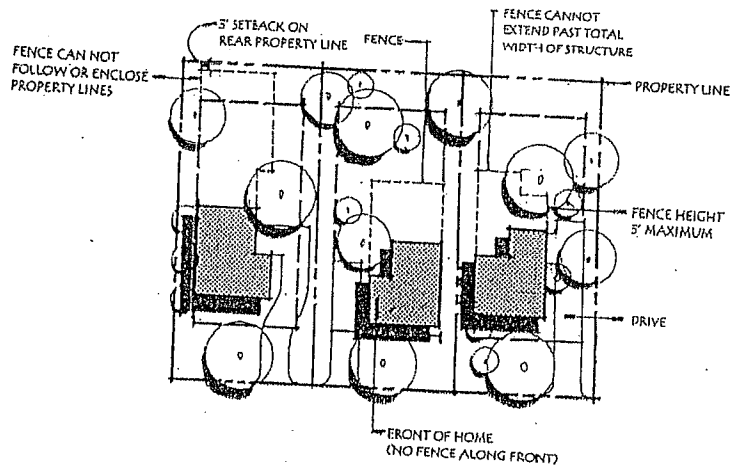
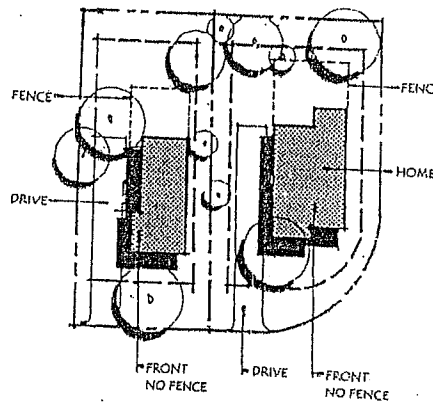
B. DECKS AND TERRACES

Decks and terraces should be designed to be an extension of the architecture and provide a transition from the house to the garden to the natural surroundings. Grading shall be kept to a minimum.

C. FENCES AND WALLS

Fences can be useful design elements to screen utility areas or other objectionable site elements, stand as a planting backdrop, provide privacy for outdoor spaces, reduce wind, provide sun "pockets", allures to identify and emphasize entries. Fences and walls must harmonize in character and color with the house. Color and style must be approved by the ARB prior to installation. Five feet in height is the maximum, unless otherwise noted, and the design should allow for some air passage. Likewise, gates, and other features should be of comparable design and color to the architecture. Fences shall not be located where they block views of other property owners to prominent site features.

Typical Fence Standards



The fence/ wall should attempt to define, and create, identifiable areas or spaces. The use of an electric deer fence is prohibited.

Plantings should be used to soften the fence, or wall, and its location on the site selected to be unobtrusive from the road and surrounding properties.

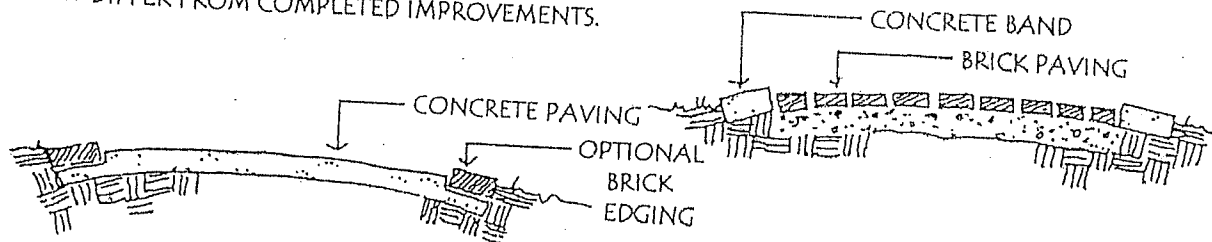
No fences are permitted on the front portion of the homesite. All fences/ walls shall be located to the rear half of the homesite and may not extend past the total width of structure along the front property line. **The fence shall not follow, or enclose property lines.** The maximum height of any fence shall be 5 feet unless otherwise noted. A fence may not be located within 3' of the rear property line.

The style and design of walls and fences in the Low Country Plantation style varied as much as the architecture. As the examples suggest, wrought iron, wood pickets, and brick used in combination or individually are the materials most appropriate for the Maritime Village. Chain link, barbed wire, etc. is not permitted.

D. DRIVEWAYS AND PARKING

Driveways, sidewalks, turnarounds, and parking areas must be hard surfaced. Parking areas up to two cars are allowed. Hard surfaces shall be determined by the Architecture Control Board and shall be uniform throughout the Maritime Village.

ILLUSTRATIONS ARE ARTIST'S DEPICTIONS ONLY AND
MAY DIFFER FROM COMPLETED IMPROVEMENTS.



Acceptable surfaces include:

- A. Hard Surfaces
 - 1. Concrete
 - a. Tabby surface
 - b. Heavy broom surface
 - c. Scored
 - d. Stamped
 - 2. Brick
 - 3. Concrete pavers

When hard surfaces are used they must provide adequate drainage provisions to accommodate a heavy downpour. Drives must not drain into a public street. All drives must provide a substantial apron at the road edge. Regardless of surface type, the drive must be 10'-12' wide and should meet the street with a 10' radius at each corner. Drives located along a property line must be screened, within the line, with appropriate landscaping. Parking areas shall be screened from the street with walls, fencing, and planting.

No entrance statements, used in conjunction with the driveway, will be allowed.

E. LIGHTING

Landscape lighting is encouraged in moderation. Path lighting must be no taller than mounting height and use low voltage lamps. Landscape fixtures must be shielded by planting and concealed in daytime. Down lighting is encouraged so as to reduce glare on better light drives and paths, and assure that neighboring properties are protected from bright light sources. Exterior light fixtures on homes must be of a baffled design and conservative in number. Colored lights are not prohibited. Spotlights/ floodlights, depending on orientation and location will be considered on a case-by-case basis.

Holiday lighting and decorations may only be displayed from the last Thursday in November to January 5th. Any window with holiday lights must be white and tastefully done. Exterior holiday lights are permitted only if they follow ARB holiday lighting standards.

One lamp post is allowed. The lamp post should be a maximum 6 feet in height and should be designed in character of Low Country Plantation lighting. A fixture cut sheet must be provided for review. The location must be approved by the ARB.

F. AIR CONDITIONERS AND TRASH RECEPTACLES

All air conditioning units shall be shielded and hidden so they shall not be visible from any street or adjacent property.

Window and/or wall air conditioning units shall not be permitted.

All trash receptacles must be near the house. Planting or fence elements should screen the receptacles. The planting, berming, or fence must be a minimum of 4' in height and if planting is used, must be of sufficient density to screen receptacles.

Trash receptacles shall be roll-out carts, as provided by the collector. No exceptions will be permitted.

Roll-out carts shall be placed at the street no more than 12 hours prior to collection day and must be removed from the street within 12 hours after collection. Recycling is encouraged under the same criteria as established for roll-out carts.

G. MAILBOXES

The ARB has pre-selected mailboxes for this project. The appropriate location shall be determined on a case-by-case basis. The responsibility for purchasing and installing the mailbox lies with the homeowner and not the developer. The homeowner will purchase the approved mailbox from the developer.

H. FLAGPOLES AND SIGNS

- No in ground flagpoles will be allowed.
- One Decorative/ Seasonal flagpole displayed from the home reflecting the character of the development will be allowed.
- All signs, billboards, and advertising structures are prohibited.
- The developer has the right to post signage illustrating future site features and community amenities within the community.

I. RECREATIONAL ITEMS -- ACCESSORY STRUCTURES AND DECORATIVE OBJECTS

Above ground swimming pools shall not be permitted. Swimming pools shall not be permitted on the street side of the residence. Pool screening colors shall compliment and blend with the house (green is not allowed). Complete, detached screen enclosures over the pool will not be allowed. Any pool enclosure shall utilize screen color and architectural elements consistent with the home elevation. All plans for swimming pools and enclosures are subject to ARB approval.

No decorative objects such as sculptures, birdbaths, fountains, and the like shall be placed or installed on the street side or side yard of any homesite or within view of any street. Rear yard decorative objects are subject to ARB approval.

Clotheslines shall not be permitted on any homesite.

Tennis courts within a single-family homesite are not permitted.

J. RECREATIONAL VEHICLES

All permanent vehicles, including golf carts, are to be parked within a garage. Recreational vehicles, such as boats, motor homes, and campers, may only be stored on-site a maximum of 24 hours unless fully garaged. Otherwise, they shall be stored in a designated area off-site.

K. OTHER

No mobile home, trailer, tent, barn, or other similar outbuilding, vehicle, or structure shall be placed on any homesite as stipulated in the Covenants. Any vehicles or equipment that cannot be stored in a garage structure or discreetly screened, as approved by the ARB, are required to be stored off-site at the owner's expense.

Pet enclosures, pet houses, basketball goals, yard ornaments, and similar site improvements are not permitted.

Swing set designs and location will be permitted on a case-by-case basis.

Signage is restricted to Rivers Edge signage only and includes the following uses: directional, site identification, warning, and illustration of future site features. This signage, as well as all mailboxes, will be a standardized design to harmonize with the community.

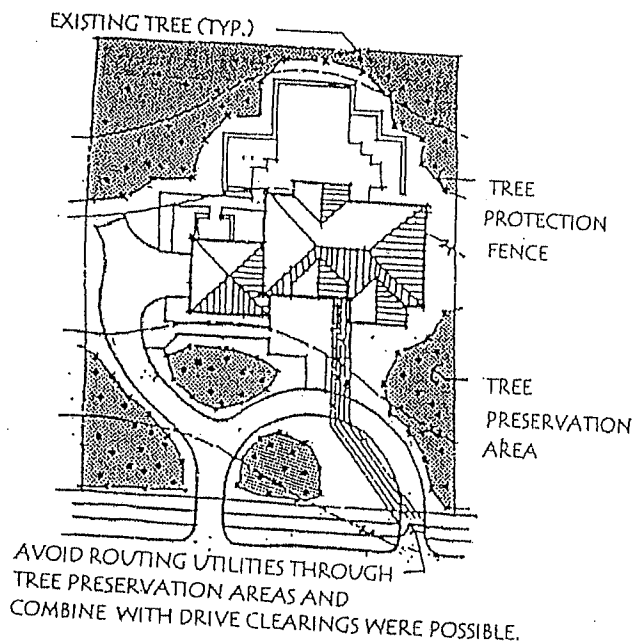
All propane gas tanks must be stored underground.

Portable restrooms, which are placed temporarily on a homesite during construction, shall be screened from view. This shall be accomplished by enclosing three sides of the restroom facility within a lattice screen. The open side of the enclosure and the corresponding restroom door shall face inward toward the home under construction. The lattice shall be as tall as the restroom facility and be painted semi-gloss white.

Tree Preservation

One of the primary goals is to minimize the disturbance of existing ecological systems and to preserve existing vegetation (trees, shrubs, and groundcover). Owners and builders may not remove trees prior to final approval of plans by the ARB. Trees may be cut after such approval only for clearing for driveways and building pads. All other tree cutting must be approved as part of the landscape plan.

The following measures will be undertaken to ensure preservation of existing vegetation:



1. A tree survey shall be completed (in conjunction with other survey work). Although major trees should be located prior to schematic design, at the time of the initial design conference, a tree survey covering all areas that will be affected by construction will be necessary.
2. The tree survey shall be used as an aid in developing preliminary plans. Tree preservation should be a high priority in siting of buildings, parking, drives, septic systems and other site elements.
3. Final plans must clearly delineate trees to be preserved and also show a limit of disturbance line around the tree. This should be cross referenced with all aspects of the development such as utilities, grading, layout, etc.
4. The limit of disturbance line must be protected with fencing, conspicuous and high enough to be seen by equipment operators. Orange safety fencing is recommended by the ARB. Fencing must be installed far enough from the tree to prevent compaction and puddling over the root system and large enough to include the area within the dripline. No grading shall take place within the dripline of trees to be preserved. Sensitive root systems fall within this area and must be protected.
5. No equipment storage or parking will be allowed within these preservation areas. Weed and debris removal within these areas must be done with hand tools.
6. Fencing must be installed prior to any clearing or construction and must be maintained in good condition until construction is completed.
7. To control the above, detailed construction specifications will be required.

Tree Mitigation

1. The current guideline states that all existing trees on any residential homesite of 4" diameter at 4'-0" above grade shall be entered on a Tree Survey and submitted to the ARB with site plans. This survey shall depict the exact location, size, and dripline or canopy line of the subject tree.
2. The ARB encourages the preservation of existing trees. To do this, any trees removed which fall within the building envelope approved by the ARB, may require a mitigation rate of 20% for each inch of caliper per existing tree (see example below). Depending upon the number of trees removed and the landscaping planned by the owner, the requirement of replacement trees may be waived or, in the ARB's discretion, alternative plant materials, and shrubbery may be substituted where visually appropriate. Every effort shall be made to contain replacement trees and plant material on the homesite.
3. All specimen trees shown on the Tree Survey outside of the building envelope shall be carefully protected from construction activities in any manner deemed appropriate by the ARB, including protective fencing. This fencing shall remain in place throughout the construction process.
4. In exercising its discretion respecting these Tree Mitigation Guidelines, the ARB shall take into consideration the following items when reviewing submittals:
 1. The number and species of trees removed
 2. Hardship to the property owner
 3. The remaining foliage, trees, and other plant species that exist on a homesite
 4. Proposed plant material found on the Landscaping Plan
 5. The size, shape, and topography of the homesite
 6. The size, species, and value of proposed replacement trees
 7. Other relevant factors

MITIGATION REPLACEMENT RATE EXAMPLE

Existing 48" caliper Live Oak would require 9.6 " of replacement on the subject homesite equating to 4 - 2" caliper trees and 2 - 1" caliper tree to meet the requirement. In all cases the ARB will round to the higher or lower whole number. (For example: 9.0 to 9.5 rounds to 9. 9.6-9.9 rounds to 10.)

$$48" \times 0.20 = 9.6 \text{ inches.}$$

AMENDMENTS TO GUIDELINES

Memorandum – December 19, 2007

To: Builders, Rivers Edge Land Consultants, and Applicants
Fr: Erica Cumbee, ARB Administrator
Re: Addendum

Amendment
1

Amendment to the Rivers Edge Golf Club & Plantation™
Residential Design and Construction Guidelines
Effective December 19, 2007

- 1.) All builders/contractors must properly install silt fencing around construction sites to hold/prevent washing of sediment from the site into the storm water drainage system and common area thoroughfares.
- 2.) Should concrete runners be used, they should commence at a minimum distance of ten feet from the back of the existing curb.
- 3.) Please note that irrigation wells and irrigation pump enclosures must receive ARB approval. The board's recommendations regarding pump locations include the options of placing the pump within the home's crawl space, within the home's garage, in a designed and approved full height garden shed, or within an expanded service yard/HVAC condenser screen. All recommendations should be verified by the owner/contractor for compliance with all applicable codes and regulations prior to installation.
- 4.) The receipt of an as-built survey will be a condition of the construction deposit refund. Any impervious greater than the allowable must be removed at the owner's/contractor's expense. The roof overhang and the area of driveway from the property line to the back of the curb are required to be calculated in the total impervious amount.
- 5.) Workers are only allowed access between 7 a.m. and 7 p.m., with no construction work on Sundays and holidays.
- 6.) Two Sets of the site plan, floor plans, and elevation drawings are required on 11x17 paper (larger sets will not be accepted), drawn to scale, inclusive of a graphic scale, for all submittals except final applications, which should follow the criteria stated in the design guidelines.
- 7.) Additional Forms Attached: Application Checklist, Pervious Form to be submitted with the proposed use of pervious surfaces for driveways, patios or sidewalks, Additional Application Forms (Preliminary Review Application, Final Review Application, Architectural Questionnaire, Request for Final Inspection/Deposit Refund, Minor Change Application)
- 8.) One set of approved plans will be marked "Approved" and will be available for builders to pick up prior to the commencement of construction.
- 9.) The Mailbox Fee will be collected as part of the final application.
- 10.) A revised schedule of Fees is attached.
- 11.) Fines may be imposed per incident by the ARB. Failure to correct these violations may result in holds on present and future permits to construct at Rivers Edge Golf Club & Plantation™. The ARB reserves the right to impose additional fines other than those listed in the attached list and to permanently prohibit flagrant and/or habitual violators of the Residential Design and Construction Guidelines.
- 12.) If the Architectural Review Board incurs legal fees to enforce the Residential Design and Construction Guidelines, the builder/owner will be required to reimburse the ARB for these fees.

Memorandum – March 7, 2008

To: Builders and Applicants
Fr: Erica Cumbee, ARB Administrator
Re: Addendum

2

Amendment to the Rivers Edge Golf Club & Plantation™
Architectural Design Standards and Guidelines
Effective March 7, 2008

With a conceptual submittal, a \$500 Rivers Edge ARB review fee is required. With the preliminary application, an additional \$600 will be required for a total review fee of \$1100.

Should the applicant choose to forego the conceptual review phase, the total review fee of \$1100 will be due with the preliminary application.

A revised checklist is attached reflecting this change. Please contact me with any questions regarding this amendment.

Third Amendment to the Rivers Edge Golf Club & Plantation™
RESIDENTIAL DESIGN AND CONSTRUCTION GUIDELINES

Effective: October 15, 2009

The following requirements regarding the submission of Landscape Plans are for all home sites being developed in Rivers Edge Golf Club & Plantation™. Please be aware that management of the landscape designer and contractor is the responsibility of the approved home building Contractor and the home owner. In the interest of maintaining a high quality of design for the landscape and associated development of home sites landscape plans must be designed, drawn, and certified by an approved landscape architect, registered and licensed in the State of North Carolina. Oversight of the installation by the landscape contractor is also expected to be approved by the registered landscape architect.

Landscape Plans:

Landscape plan submittals are to consist of the following three documents along with the Review Fee of \$300.00. So as not to cause delays in project completion, submittals should be made within 30 days of the Dry In/Exterior Elevation Inspection of the home under construction has been completed.

The following information must be provided in Landscape Plans scaled at 1" = 10'

Planting Plan:

- Use the approved Site Development Plan as the base presentation document. Include all existing trees that are to remain and be protected.
- Illustrate positioning of the home within the established setback lines.
- Illustrate the planting plan for trees, shrubs, ground covers and vines.
- Provide a listing of all proposed plants specifying botanical and common name, quantity, size, root and spacing.
 - Trees are to be sized by height and caliper at planting.
 - At least 5 large trees in excess of ten feet and 2 ½" to 4" in caliper at trunk mid-point are required.
 - Shrubs are to be sized by height and spread at planting.
- Do not use a key system for plant identification. Common name is required as the plant identifier on the planting plan (perennials excluded).
- Indicate lawn areas and turf cultivar. Sodding to the back of curbs is required.
- Indicate all natural and landscaped areas to be mulched including easements and right of ways. Specify mulch types.
- Indicate location of any landscape design structure, retaining wall, planter or ornamentation proposed or previously approved. A detailed drawing, photo, illustration or manufacturers cut sheet with all dimensions must be provided.
- Provide position of all proposed lighting. A manufacturer's cut sheet for each fixture type, identifying bulb specifications and wattage is required.
- Planting beds are to be raised except in areas where drainage will be negatively affected, in which case the condition should be clearly identified on the drainage plan and alternative measures reviewed with the ARB administrator.

Drainage and Grading Plan:

The proposed drainage and grading plan is to be prepared by a qualified professional (*See Note Below) and must include the following detail:

- Use the originally approved Site Development Plan as the base presentation document. Include finished floor elevation of first floor and garage slab.
- Provide all new contours to be established from those originally identified on the approved site development plan.
- Provide proposed impervious surface calculation detail based on anticipated fully developed home site identifying change, if any, from previously submitted and approved Site Plan calculation.
- Indicate the following:
 - Existing drainage collection and discharge points (catch basins, roadway drains, etc.)
 - All planned collection points to be installed (roof gutters, catch basins, drains, etc.)
 - Use arrows to indicate direction of all flow patterns
 - All discharge points including drainage lines to be installed.
 - All abutting walks, cart paths, roadways, structures, etc.

***Note: For this purpose, qualified professional shall be a state registered landscape architect, civil engineer, or state certified landscape contractor.**

Irrigation System Plan:

All irrigation systems are to be designed and installed by a contractor licensed by the North Carolina Irrigation Contractors' Licensing Board. A copy of the issued license is to be provided along with the Irrigation Plan submittal.

- Only INGROUND HEADS (drip irrigation or above ground emitters) are to be used for irrigation.
- Lines must be located and installed so as not to cause damage to roots of existing trees.

Upon written approval of the submitted plan, there will be two required inspections of the landscape installation during the construction process. The first will be required after the complete fine grading and preparation of the site has been accomplished in order to assess whether site conditions have been properly addressed to create positive drainage patterns prior to the installation of any plant material or sod.

The second inspection is required to assess whether the landscape planting installation complies with the approved plan as submitted. If the landscaping is not installed according to the approved plan, the Architectural Review Board may exercise it's self-help to cure violations and install the landscape per the approved plan, assessing the Owner for all costs incurred.

As required in the Rivers Edge Golf Club & Plantation™ Architectural Design Standards and Guidelines, it will be the home building contractor's responsibility to submit the required inspection request forms to obtain approval at the appropriate times during the normal progression of the home building project. (See attached inspection request form)

Rivers Edge Golf Club & Plantation™
LANDSCAPE INSPECTIONS
Telephone: (910) 287-1721; FAX (910) 287-1724

Date: _____ Lot# _____ Sec# _____ Phase# _____ Street
Address: _____
Contractor: _____ Owner: _____
(Fax or deliver this form to the ARB)

Landscape Inspections: Two site inspections by the ARB are required during the landscape process as follows:

1. First Inspection: Required after the complete fine grading and preparation of the site has been accomplished in order to assess whether site conditions have been properly addressed to create positive drainage patterns **prior to the installation of any plant material or sod.**

2. Second Inspection: Required to assess whether the landscaping installation complies with the approved plan as submitted. If the landscaping is not installed according to the approved plan, the Association may exercise it's self-help to cure violations and install the landscaping per the approved plan, assessing the Owner for all costs incurred.

(For ARB Use Only)

Date Received: _____

1. FINE GRADING and PREPARATION INSPECTION

Approved [] Not Approved []

Date: _____ **Initial:** _____

Comments:

Date Received: _____

2. INSTALLATION COMPLIANCE

Approved [] Not Approved []

Date: _____ **Initial:** _____

Comments:

Fourth Amendment to the Rivers Edge Golf Club & Plantation™
RESIDENTIAL DESIGN AND CONSTRUCTION GUIDELINES

Effective: February 23, 2010

RESIDENTIAL DESIGN AND CONSTRUCTION GUIDELINE REVISIONS

1) EXPIRATION OF FINAL HOME DESIGN APPROVAL.

“If construction does not commence on a project for which plans have been approved within 12 months of said approval, such approval shall be deemed withdrawn, and it shall be necessary for the Owner to resubmit the plans along with all currently applicable fees for reconsideration of approval to proceed to construction. As always, the review board may identify inconsistencies that may not have been identified previously.”

2) TIME FOR COMPLETION OF HOME CONSTRUCTION.

“All exterior homesite improvements including landscape completion, must be complete on or before twelve (12) months after Commencement of Construction, which shall be determined to be the date of approval of the required Pre-Clearing Field Review, or the ASC may impose fines as described in the most current Fees and Fines Schedule. In addition, the Association may exercise its self-help to cure violations and complete the exterior homesite improvements according to the approved plans, assessing the Owner for all cost incurred.”

Fifth Amendment to the Rivers Edge Golf Club & Plantation™
RESIDENTIAL DESIGN AND CONSTRUCTION GUIDELINES

Effective: March 30, 2010

All references to required roofing material as 40-year warranty architectural roof shingles shall be changed to 30-year warranty architectural roof shingles

Section VI – Design Standards, Item 6.4 -- Shingles: is amended as follows:

Shingles are to be of architectural grade 30 years minimum warranty: blue, red and white colored shingles shall not be permitted.

Sixth Amendment to the Rivers Edge Golf Club & Plantation™
RESIDENTIAL DESIGN AND CONSTRUCTION GUIDELINES

Effective: March 30, 2010

Section VI – Design Standards

The following is to be added to this section as minimum requirements:

MINIMUM BUILDING REQUIREMENTS

a. Walkways from the driveway to the front door of the home shall be a minimum of three (3') feet wide.

b. 1) Homes to be constructed in Sections 1, 2, 3, 4 5, 6 and 9 shall have a raised foundation with a minimum finished first floor height of 30" above grade at the front entry unless Federal, State or Local governmental agencies with jurisdiction dictate otherwise. In the event of a conflict, the requirement of the governmental agency with jurisdiction shall prevail.

2) Homes to be constructed in Sections 7, 8 and 10 thru 19 shall have a raised foundation with a minimum finished first floor height of 24" above grade at the front entry unless Federal, State or Local governmental agencies with jurisdiction dictate otherwise. In the event of a conflict, the requirement of the governmental agency with jurisdiction shall prevail.

c. The building envelope and setbacks for each homesite are established by the ARB, except in cases where State or Local governmental agencies with jurisdiction dictate otherwise. When in conflict, the stricter standards shall apply. Roof overhangs may encroach a maximum of twelve (12") inches into setbacks on all sides. If a setback borders a Section 404 designated area the overhang may extend up to twelve (12") inches into the setback provided that only hand clearing of vegetation within the Section 404 designated area is necessary to accomplish this and providing no Federal, State or Local regulation prohibits such.

d. The following minimums are established:

- Trim around doors and windows..... 4"
- Corner boards.....6"
- Skirt boards..... 10"
- Fascia... (2 - piece).....6" with added drip mold
- Frieze... (2 - piece)..... 6" with added trim board

e. Attractive driveway runners designed and constructed with hard surface materials to include, brick or concrete pavers, cobblestones, cast-in-place concrete, stamped concrete, poured and scored concrete, and exposed aggregate; with manicured grass between the runners, will be considered on a case-by-case basis.

f. Foundation vents are not required on homes with a finished first floor elevation height less than 30" above grade at the front entry.

Seventh Amendment to the Rivers Edge Golf Club & Plantation™
RESIDENTIAL DESIGN AND CONSTRUCTION GUIDELINES

Effective: November 1, 2011

Section VI – Design Standards

The following is to be added to Section 5.12 Landscaping:

GRASSED AREAS OF DEVELOPED HOMESITES

Sodded Lawn areas must be installed to a minimum of at least 25% of the remaining pervious area of the developed home site. In certain instances related to site conditions or hardship situations exceptions to this requirement may be allowed upon approval of the Architectural Review Board.

Lawn areas must be sufficiently irrigated through *underground irrigation systems*, and provide sod to the curb at all abutting streets. Where common area lakes or ponds are within 20 feet of the property line of the homesite, sod is to be planted to the waters edge. Planting beds must not encroach within 15 feet of these bodies of water in order to provide for access by maintenance equipment. Use of sod and planting is permissible within certain easements upon approval of the Architectural Review Board with the understanding by the property owner that it will be the home owners expense to replace plantings if damage should result from maintenance activity requiring access to these easements.

Eighth Amendment to the Rivers Edge Golf Club & Plantation™

RESIDENTIAL DESIGN AND CONSTRUCTION GUIDELINES

Effective: May 1, 2012

Revised October 13, 2014

**Section VII – Fees and Bonds Which Must Accompany Plan Submitted To
The ARB**

The following items are deleted and revised as stated below:

- 7.1 Architectural Standards review fee: \$2000.00. To be provided at the time of the first submittal.
- 7.2 a. A compliance bond in the amount of \$5,000.00 in the form of a check from the Builder must be deposited with the ARB prior to commencement of construction on the building project. This compliance bond is for the purpose of insuring compliance by the contractor with these rules, the Master Declaration and any other specific requirements imposed by the ARB under these documents or as contained in the Construction Agreement signed by the Owner and Builder. The Owner and/or Builder will be notified by the ARB Administrator of any infractions and any fine assessed by the ARB in writing and given appropriate time to correct the infraction. Infractions which are not corrected within the allowed time will result in a fine as the ARB deems appropriate and will be deducted from the compliance bond before a refund of the bond and the issuance of its final approval certificate.
- b. If the home is completed and ready for occupancy prior to the landscape work being completed according to the approved landscape plan, the ARB will require a landscape performance deposit in the amount of \$15,000.00. Should the homeowner fail to complete the landscape work within forty-five (45) days after the certificate of occupancy is issued, the ARB will proceed to have the landscaping done on the lot and pay for it out of the landscape performance bond and/or compliance bond deposit.

In addition to the above fees, the following fees are also required.

NEW HOME CONSTRUCTION

- | | |
|--|-------------------------------------|
| 1) Home Design Review Fee (Non-Refundable) | \$2000 (at time of first submittal) |
| 2) Construction Deposit Fee (Refundable) | \$5,000 (prior to site clearing) |
| 3) Structural Design Change | \$300 (per item) |
| 4) Non-Structural Design Change | \$100 (per item after first five) |
| 5) Landscape Plan Review Fee | \$300 (per plan review) |
| 6) Road Usage Fee (Non-Refundable) | \$750 |

EXISTING HOMES

- | | |
|-----------------------------------|---|
| 1) Landscape/Design Change Review | \$0 - \$100 (depending upon scope of project) |
| 2) Minor Change Review Fee | \$300 |

NOTE: The above fees are subject to change without prior notice.

The owner should include with the application(s) and fee(s), all documents and other information that are outlined in the Residential Design and Construction Guideline requirements as previously specified and be delivered to:

Architectural Review Board
Rivers Edge Golf Club and Plantation
131 Ocean Boulevard West
Holden Beach, NC 28462

Phone: 910-842-4939
Fax: 910-842-4706

Ninth Amendment to the Rivers Edge Golf Club & Plantation™
RESIDENTIAL DESIGN AND CONSTRUCTION GUIDELINES

Effective: September 1, 2012

SECTION VI - DESIGN STANDARDS, Item 6.10; the following regarding foundation venting and detailing shall be added:

In consideration of the fact that more of our homes are being constructed on raised slabs or with conditioned or sealed crawl spaces where venting is not required, the on-going policy for all homes with engineered designs not requiring functioning vents will be that non-functioning foundation vents or design elements as a decorative design enhancement need only be applied to the front elevation of the home and not on the side and rear elevations unless other considerations such as aesthetic impact to adjacent common areas or roadways, at the sole discretion of the Architectural Control Committee, are determined to be of concern.

As a consideration of the granting of this allowance for these homes, additional enhancement in the landscape designs and planting may be required.

Tenth Amendment to the Rivers Edge Golf Club & Plantation™
RESIDENTIAL DESIGN AND CONSTRUCTION
GUIDELINES

Effective: June 3, 2013

The Sign Requirements for Rivers Edge Golf Club and Plantation state the following:

The ARB requires one temporary construction site identification sign during construction displaying the Phase, Section and Lot Number, Street Address and Brunswick County building permit sign. The sign must be approved by the ARB and constructed according to the requirements of the ARB. The names of contractors or subcontractors are not permitted on the temporary construction site identification sign. This same temporary construction site identification sign shall accommodate the attachment of a "permit inspection box" in which any required permits may be displayed. The approved temporary construction site identification sign may be installed following final construction document review and approval. It shall be removed immediately following the issuance of the ARB final inspection certificate.

To order a temporary construction site identification sign contact must be made by the approved building contractor with the authorized supplier, Kelly Signs, 7169 Ocean Highway West, Sunset Beach, NC 28468-6104 (910) 579-1167.

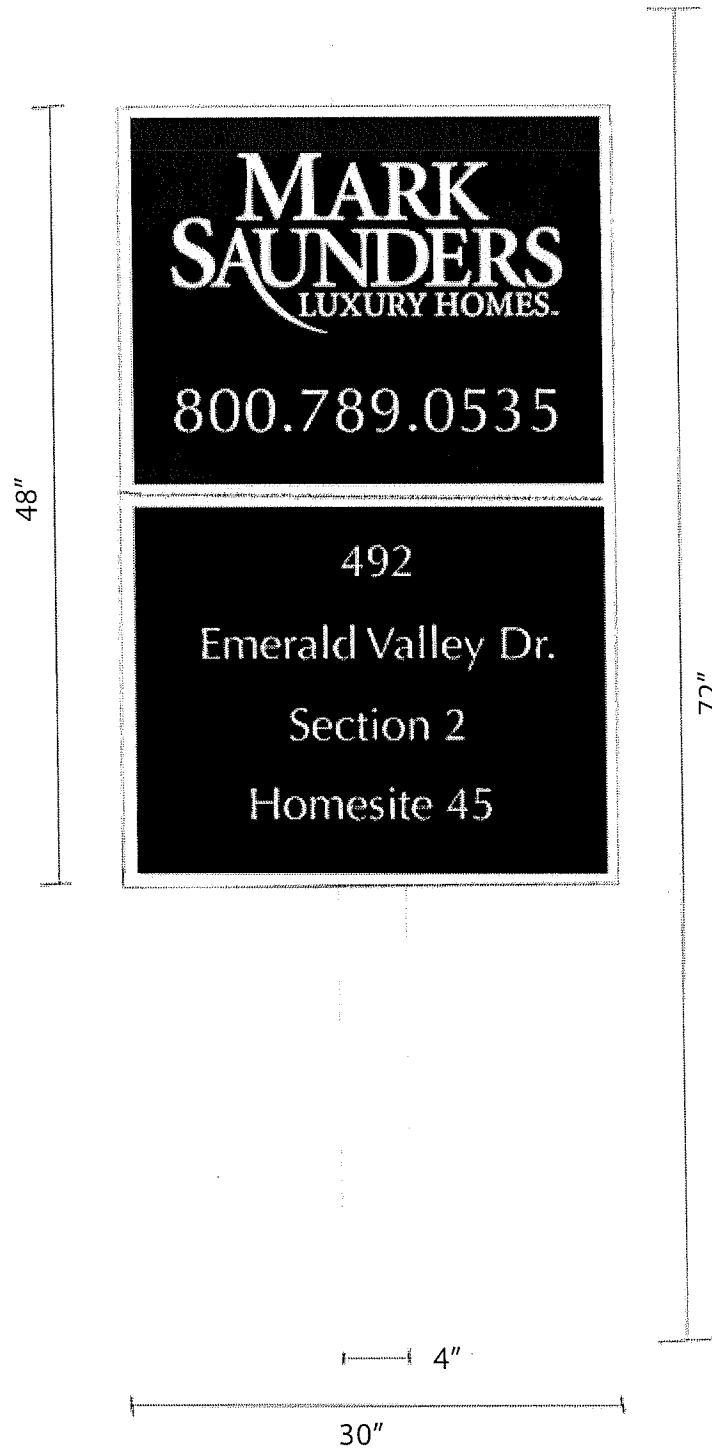
The following is added to "Sign Requirements – Rivers Edge Golf Club and Plantation":

The background color of all temporary construction site identifications signs at Rivers Edge Golf Club and Plantation shall be black. The font and post color shall be white. See attached **Exhibit 3** for a depiction of the approved sign.

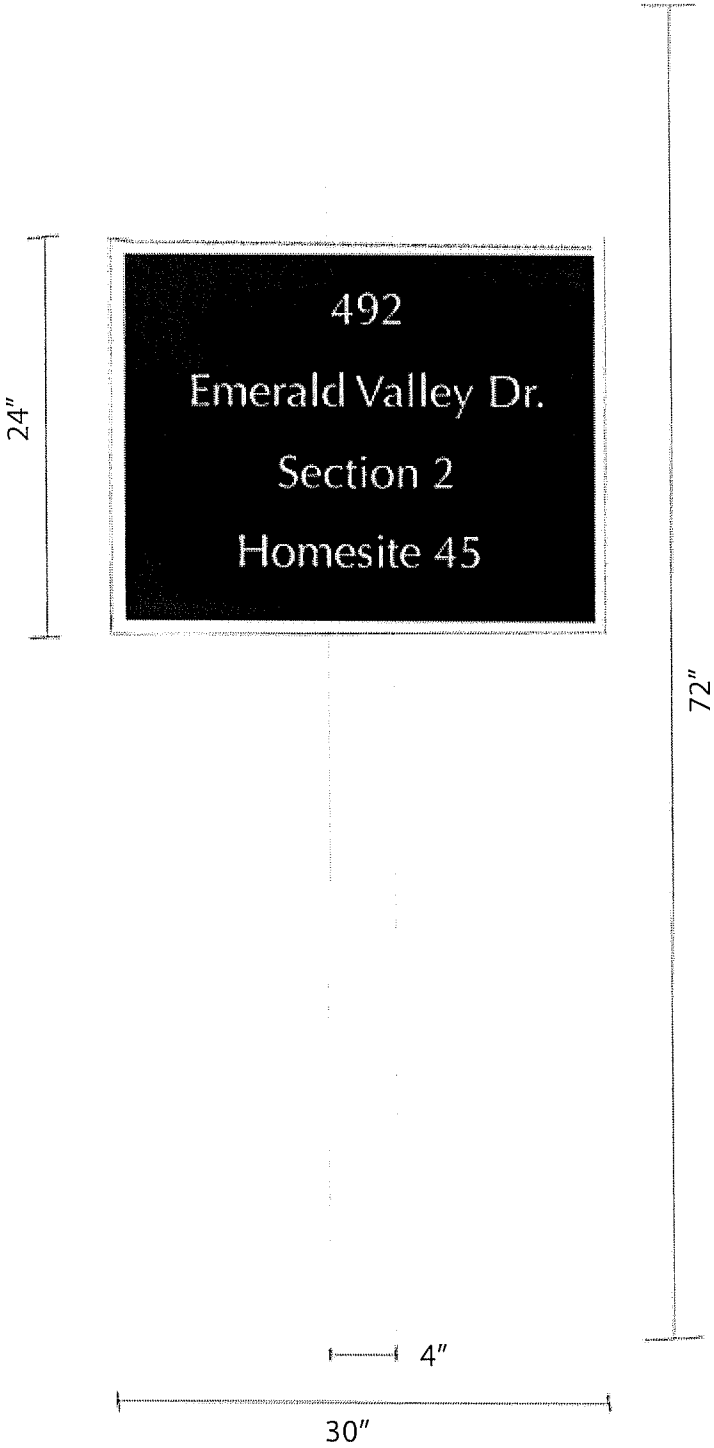
The Declarant and builder authorized by Declarant , exclusively, may erect one temporary construction site identification sign during construction that additionally displays the authorized builder's name, logo, phone number and website address. The sign must be approved by the ARB and constructed according to the requirements of the ARB. The names of the subcontractors are not permitted on the temporary construction site identification sign. This same temporary construction site identification sign shall accommodate the attachment of a "permit inspection box" attached to the rear facing side of the construction site identification sign in which any required permits may be displayed. The approved temporary construction site identification sign may be installed following final construction document review and approval. It shall be removed immediately following the issuance of the ARB final inspection certificate.

The background color of temporary construction site identification for the Declarant and builders authorized by the Declarant shall be black. The font and post color shall be white. See attached **Exhibit 2** for a depiction of the sign that is approved exclusively for the Declarant and builders authorized by the Declarant.

To order a temporary construction site identification sign contact must be made by the approved building contractor with the authorized supplier, Kelly Signs, 7169 Ocean Highway West, Sunset Beach, NC 28468-6104 (910) 579-1167.



Colors
white post
white cap
black face
white lettering



Colors
white post
white cap
black face
white lettering

Section XV – Theme Village Models Prohibited in Custom Areas

Should any Supplemental Declaration create theme villages which requires that specifically **pre-approved models** may only be built in the village, then in that event, no theme village model nor any modification or alteration thereof will be permitted to be constructed within any other area of the Plantation.

Memorandum – February 27, 2018

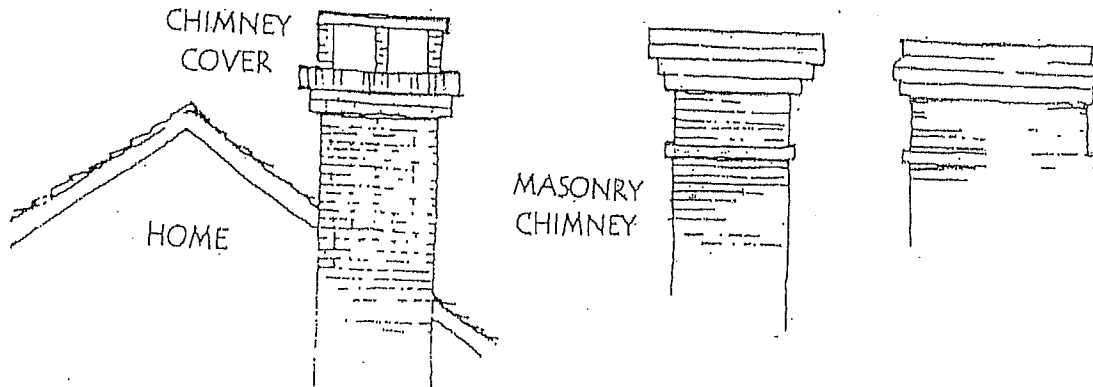
To: Builders, Rivers Edge Land Consultants, and Applicants
From: Gail Miller, ARB Administrator
Re: Amendment to Residential Design & Construction Guidelines – Section VI (#11)

Amendment to the Rivers Edge Golf Club & Plantation™
Residential Design and Construction Guidelines
Effective February 27, 2018

Section VI – Design Standards

6.13 CHIMNEYS

Chimneys can be an important part of the architectural statement of the home design. Chimney finishes are restricted to brick. No exterior metal fireboxes are permitted unless encased in brick surrounds. Interesting and appropriate detailing at the chimney peak is required.



Memorandum – March 27, 2018

To: Builders, Rivers Edge Land Consultants, and Applicants
From: Gail Miller, ARB Administrator
Re: Amendment to Residential Design & Construction Guidelines (#12)

Amendment to the Rivers Edge Golf Club & Plantation™
Residential Design and Construction Guidelines
Effective January 1, 2018

In acceptance with the NC Department of Environmental and Natural Resources recent interpretation of roof overhangs as they relate to Built Upon Areas, the land surface area under roof overhangs will be considered by the Rivers Edge Architectural Review Board as pervious, if it is a landscaped or grassed surface; except in Ocean Areas of Environmental Concern, where the Coastal Area Management Act (CAMA) requires that areas under roof overhangs be considered as impervious

EXHIBIT E
RIVERS EDGE GOLF CLUB & PLANTATION
FIELD REVIEW – FOUNDATION

Owner _____ Date _____

Lot # _____ Street _____

The foundation (IS) (IS NOT) located as shown on approved site plan.

Reason for variance from approved plan:

FOOTER/FOUNDATION INSPECTION

(Fax, Email or deliver this form to the ASC after excavation and **before** pouring footers or slab.)

Footer/Foundation Inspection: A site inspection by a member of the ASC is required before pouring footings and/or slab. A foundation survey by a registered surveyor is required and verification must be supplied to the ASC office prior to commencing framing. This is for the benefit of both the Contractor and the Owner.

Approved () Not Approved ()

Administrator Notes:

Rev. 3/22/17