

HOMES BY DICKERSON
 2841 PLAZA PLACE, SUITE 210
 RALEIGH, NC 27612
 919.847.4447

ORIGINAL CONCEPT BY
JEFF WILLIAMS
REGISTERED ARCHITECT
 2841 PLAZA PL, SUITE 210
 RALEIGH, NC 27612 919.847.4447
 BUILDER LICENSE # : 9645

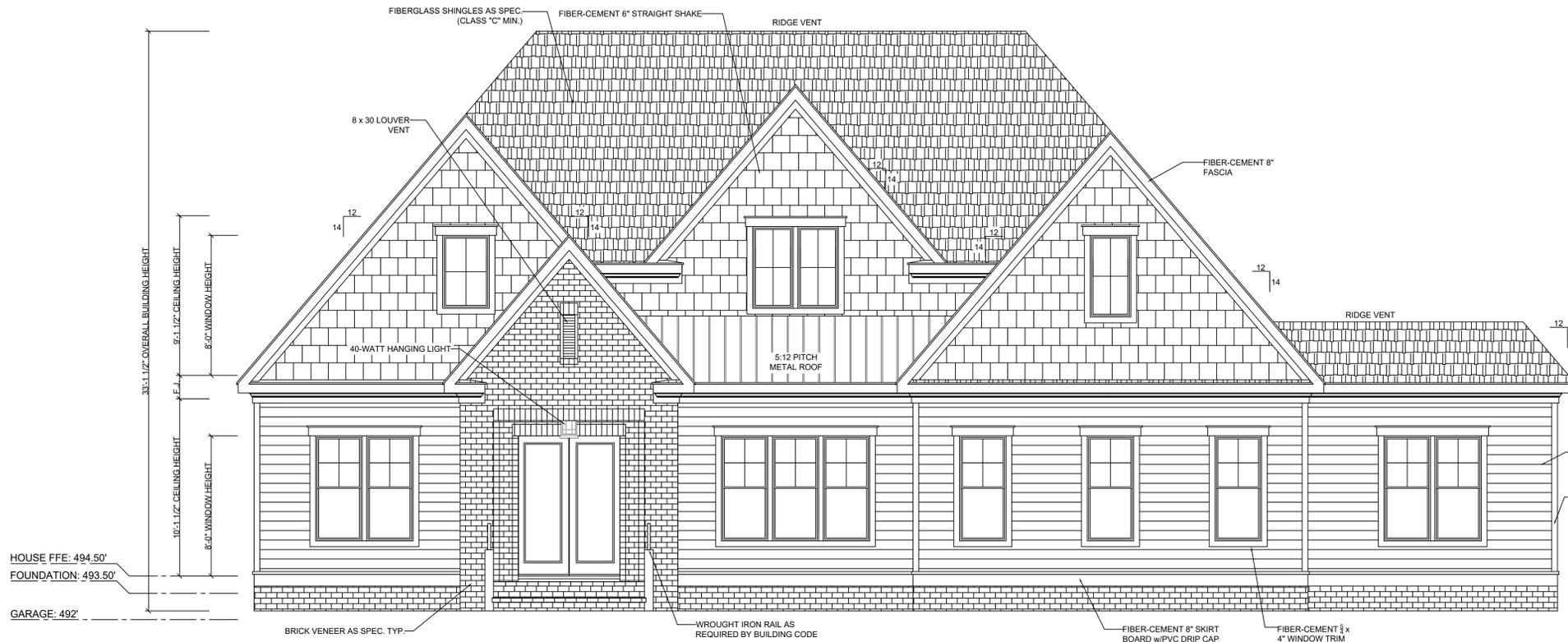
LOT 2255 - PINEWILD
THE HAMILTON

DRAWN BY NC
 6/12/2025
REVISION DATE
 8/5/2025

SHEET NO.

1

ELEVATIONS



FRONT ELEVATION
 SCALE = 1/4" = 1'-0"



LEFT ELEVATION
 SCALE = 1/4" = 1'-0"

BOX SCORE CHART

PROJECT INFORMATION:

ADDRESS: 16 WITHORN COURT, PINEHURST, NC 28374
 LOT NUMBER: 2255
 BUILDER: HOMES BY DICKERSON
 OWNER/CLIENT: SPEC / N/A
 ZONING DISTRICT: R-15 RESIDENTIAL
 OCCUPANCY: R-3 (ONE & TWO FAMILY DWELLING)
 CONSTRUCTION TYPE: V-B

BUILDING AREAS:

1ST FLOOR HEATED: 2,363 SF
 2ND FLOOR HEATED: 1,239 SF
 TOTAL HEATED: 3,602 SF
 GARAGE: 777 SF
 COVERED PORCH: 226 SF
 SCREEN PORCH: 245 SF
 TOTAL UNDER ROOF: 4850 SF

ADDITIONAL INFO:

BEDS: 4
 BATHROOMS: 4.5
 ROOF PITCH: 10:12 MAIN
 EXTERIOR: BRICK & FIBER CEMENT SIDING

SITE DATA:

LOT SIZE: 48,717 SF
 FRONT SETBACK: 40 FT
 SIDE SETBACKS: 30 FT / 30 FT
 REAR SETBACK: 60 FT
 BUILDING HEIGHT: 33 FT
 LOT COVERAGE ALLOWED: 24%
 LOT COVERAGE PROVIDED: 16.69%



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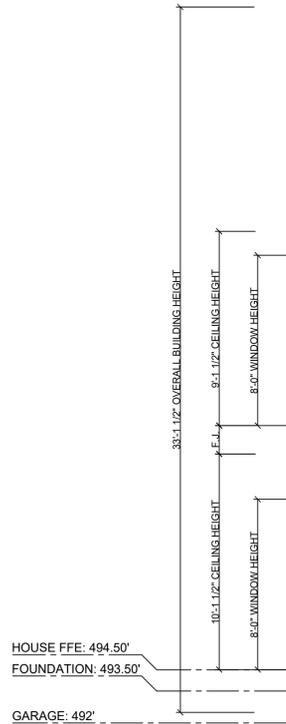
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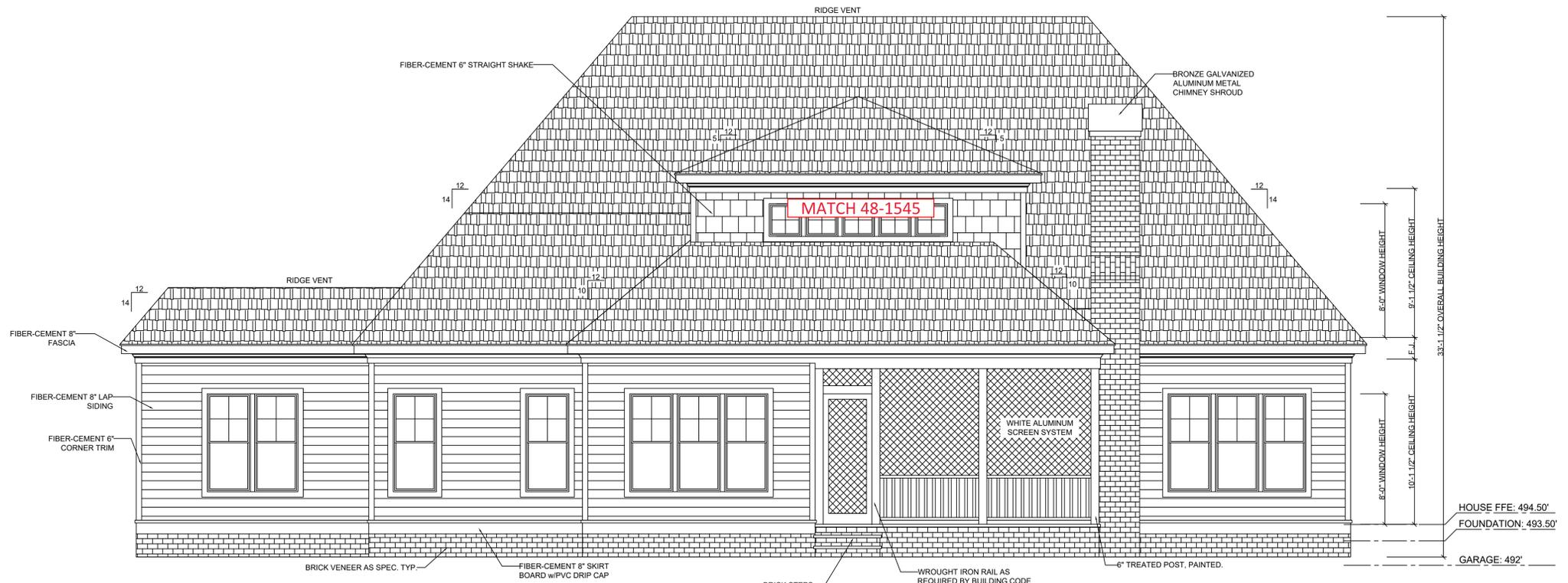
SHEET NO.

2

ELEVATIONS



RIGHT ELEVATION
 SCALE = 3/8" = 1'-0"



REAR ELEVATION
 SCALE = 3/8" = 1'-0"

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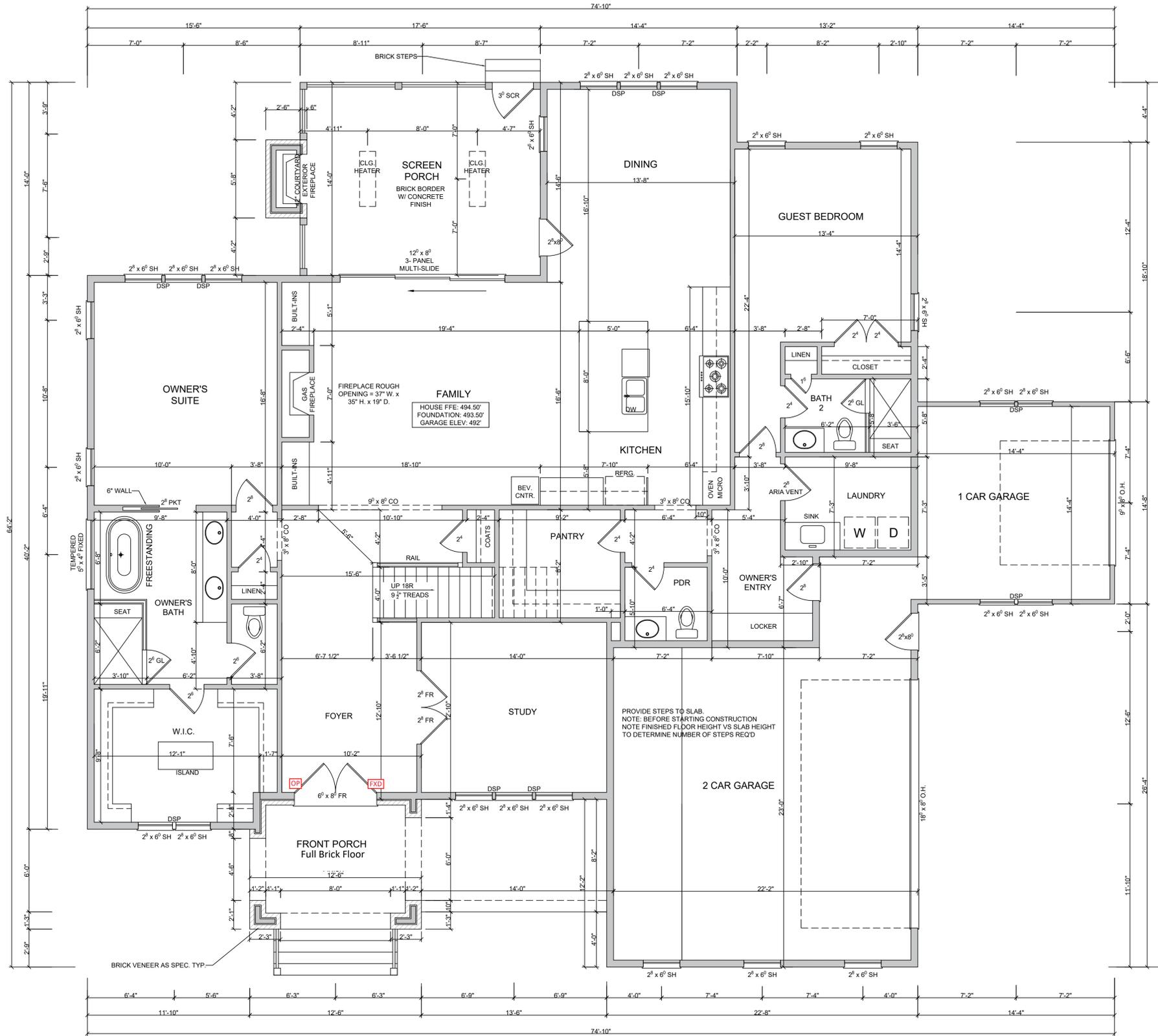
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3

FLOOR PLAN



FIRST FLOOR PLAN
 10'-0" CEILING HGT.
 SET WINDOWS @ 8'-0" A.F.F.
 SCALE= 1/4" = 1'-0"

AREA CALCULATIONS

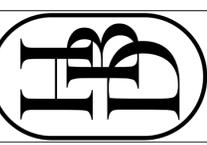
HEATED (SQ.FT.)		UNHEATED (SQ.FT.)	
1ST FLOOR	2363	GARAGES	777
SECOND FLOOR	1239	FRONT PORCH	226
		SCREEN PORCH	245
TOTAL	3602	TOTAL	1248
		UNFINISHED (SQ.FT.)	
		UNFIN. STORAGE 1	155
		UNFIN. STORAGE 2	464
		TOTAL	619

NOTES

- PLANS DESIGNED UNDER 2018 NORTH CAROLINA RESIDENTIAL CODE.
- ALL ANGLED WALLS ARE 45° UNLESS NOTED OTHERWISE.
- FINISH DOOR AND WINDOW HEADS SHALL ALIGN EXCEPT AS NOTED.
- ALL MATERIALS AND COMPONENTS MUST BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
- GRADES SHOWN ARE ILLUSTRATIVE, NATURAL GRADE WILL DETERMINE FINISH GRADE.
- FLOOR PLAN NOTATIONS GOVERN OVER ELEVATION SCALE.
- VERIFY ALL WINDOW SIZES, RADIUS AND DETAILS WITH CHOSEN MANUFACTURER.
- ALL HABITABLE ROOMS SHALL MEET LIGHT/VENTILATION & EGRESS REQUIREMENTS.
- TEMPERED GLASS TO BE USED AT ALL SAFETY REQUIRED LOCATIONS.
- ALL WINDOW GLAZING TO HAVE 0.35 U-FACTOR MIN.
- ALL CABINET DESIGNS/LAYOUTS TO BE VERIFIED WITH SHOP DRAWINGS FROM CABINET MANUFACTURER.
- PER 2018 N.C. RESIDENTIAL BUILDING CODE TABLE R302.6:
- SHEETROCK ON GARAGE CEILING TO BE 5/8" TYPE "X".
- SEALED CRAWLSPACE AROUND FOUNDATION.

BOX SCORE CHART

PROJECT INFORMATION:		ADDITIONAL INFO:	
ADDRESS:	16 WITHORN COURT, PINEHURST, NC 28374	BEDS:	4
LOT NUMBER:	2255	BATHROOMS:	4.5
BUILDER:	HOMES BY DICKERSON	ROOF PITCH:	10:12 MAIN
OWNER/CLIENT:	SPEC / N/A	EXTERIOR:	BRICK & FIBER CEMENT SIDING
ZONING DISTRICT:	R-15 RESIDENTIAL		
OCCUPANCY:	R-3 (ONE & TWO FAMILY DWELLING)		
CONSTRUCTION TYPE:	V-B		
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TOTAL HEATED:	3,602 SF		
GARAGE:	777 SF		
COVERED PORCH:	226 SF		
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TOTAL UNDER ROOF:	4,850 SF		
SITE DATA:			
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FRONT SETBACK:	40 FT		
SIDE SETBACKS:	30 FT / 30 FT		
REAR SETBACK:	60 FT		
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LOT COVERAGE PROVIDED:	16.69%		



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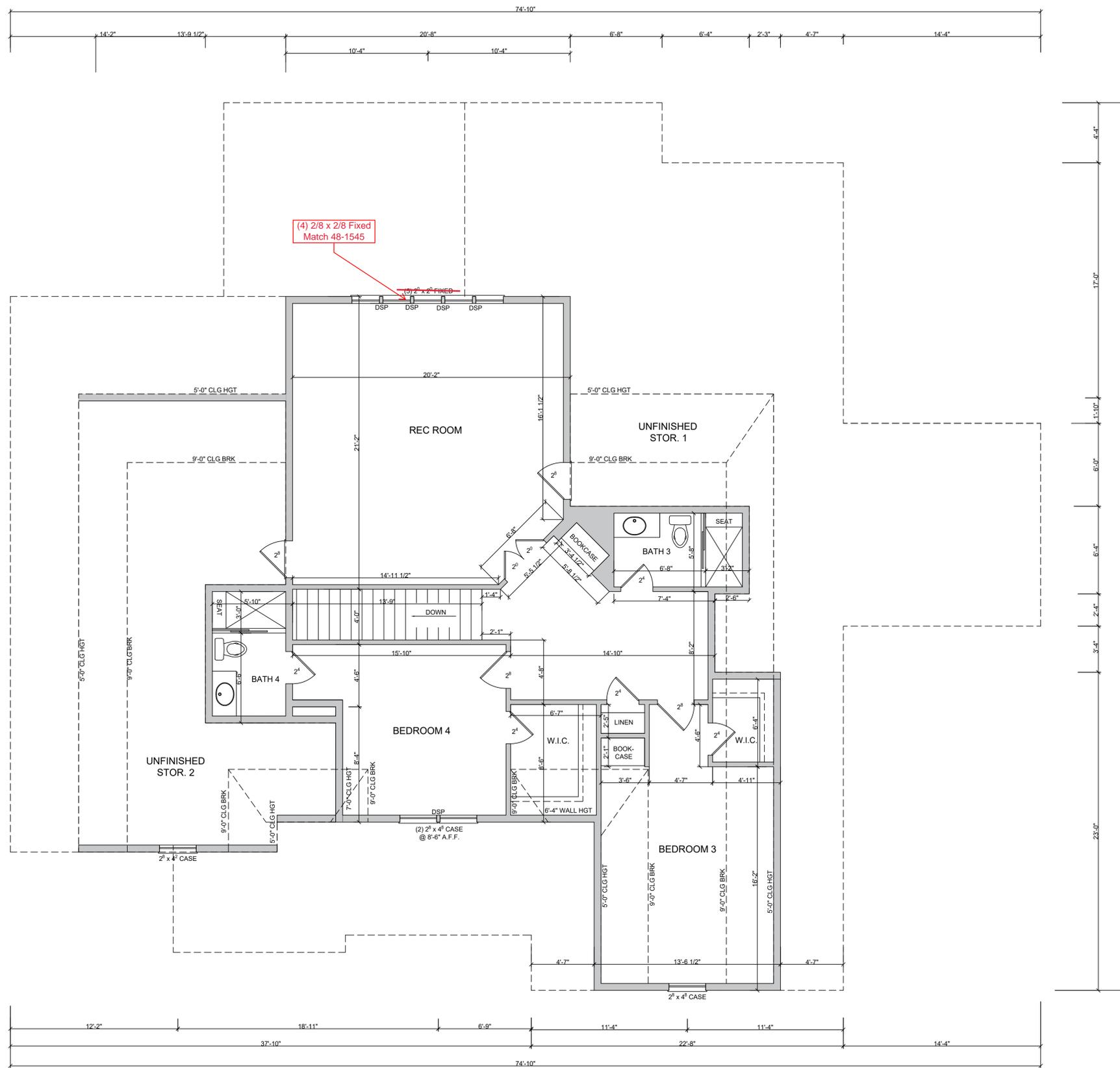
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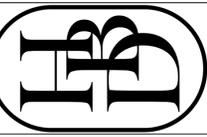
FLOOR PLAN



SECOND FLOOR PLAN
 9'-0" CEILING HGT.
 SET WINDOWS @ 7'-8" A.F.F.
 SCALE= 1/4" = 1'-0"

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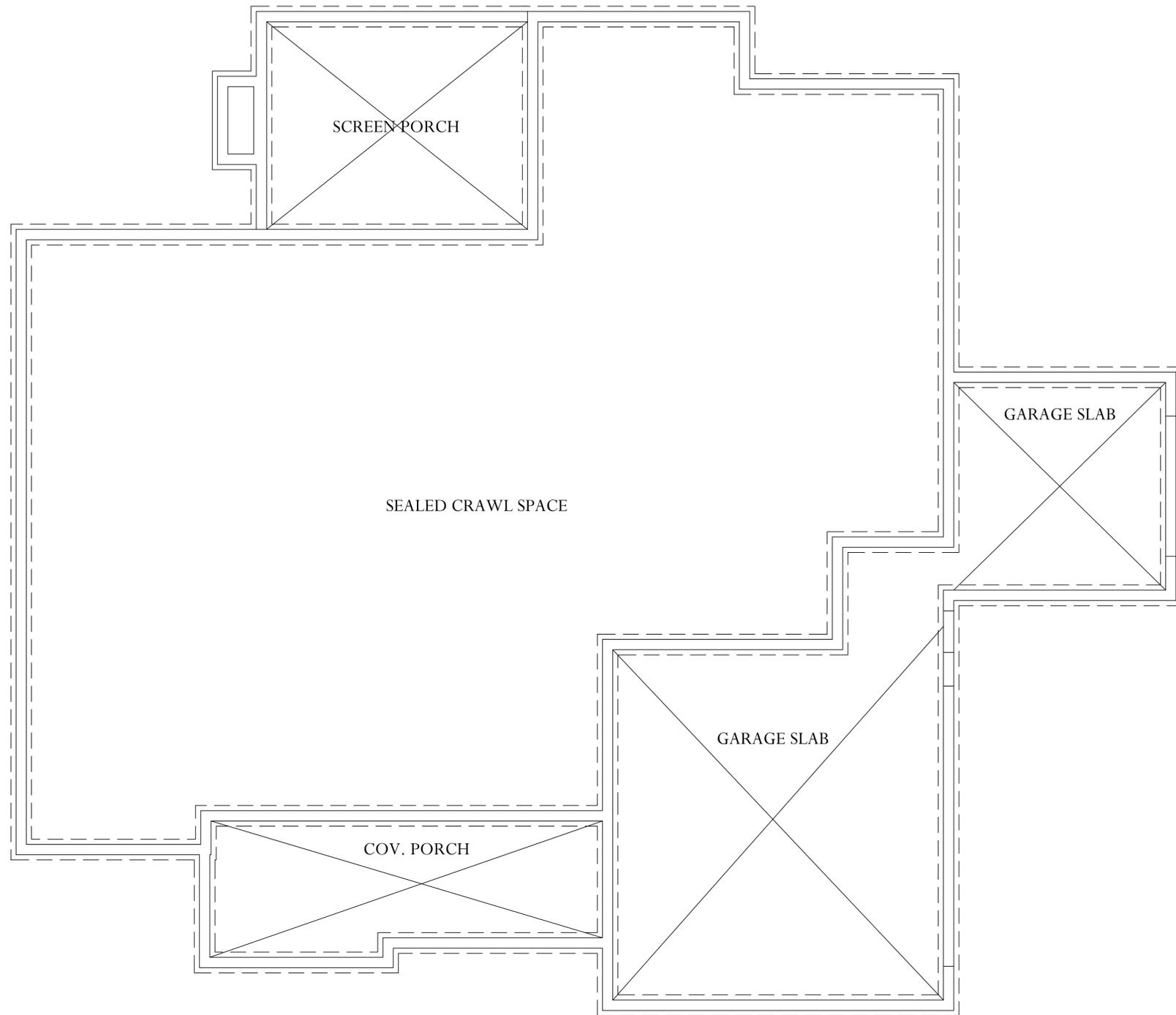
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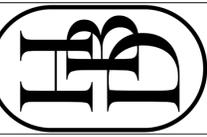
FOUNDATION



FOUNDATION PLAN
 SCALE= 3/8" = 1'-0"

BOX SCORE CHART	
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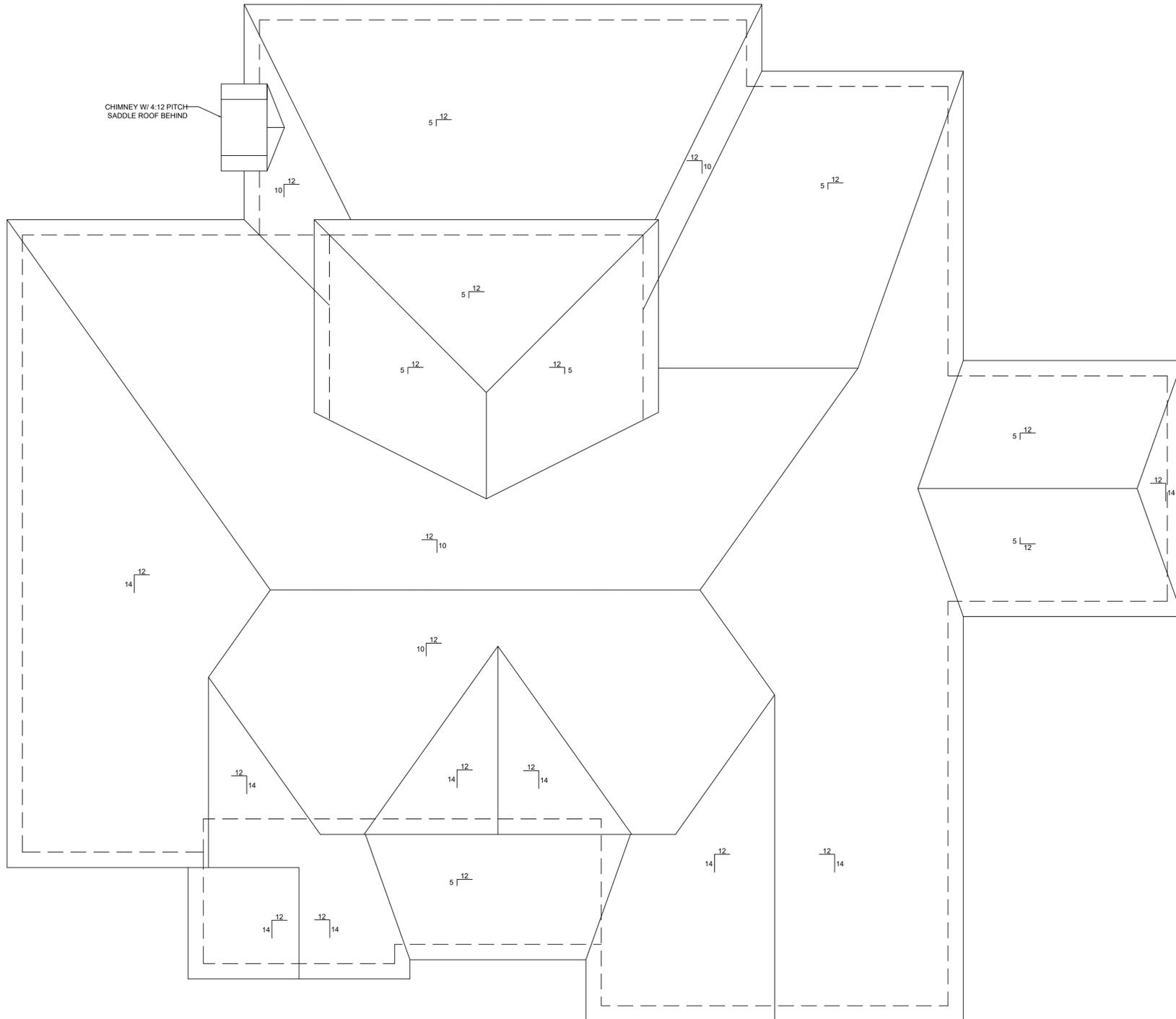
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6

ROOF



ROOF PLAN
 SCALE= 3/8" = 1'-0"

BOX SCORE CHART

PROJECT INFORMATION:

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 LOT NUMBER: 2255
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 OWNER/CLIENT: SPEC / N/A
 ZONING DISTRICT: R-15 RESIDENTIAL
 OCCUPANCY: R-3 (ONE & TWO FAMILY DWELLING)
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 ROOF PITCH: 10:12 MAIN
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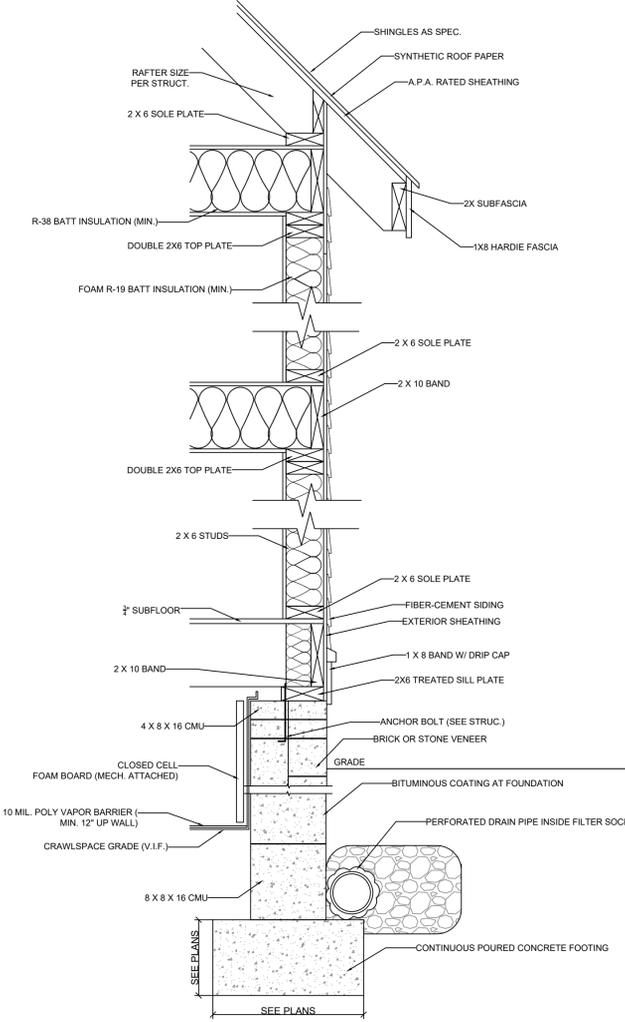
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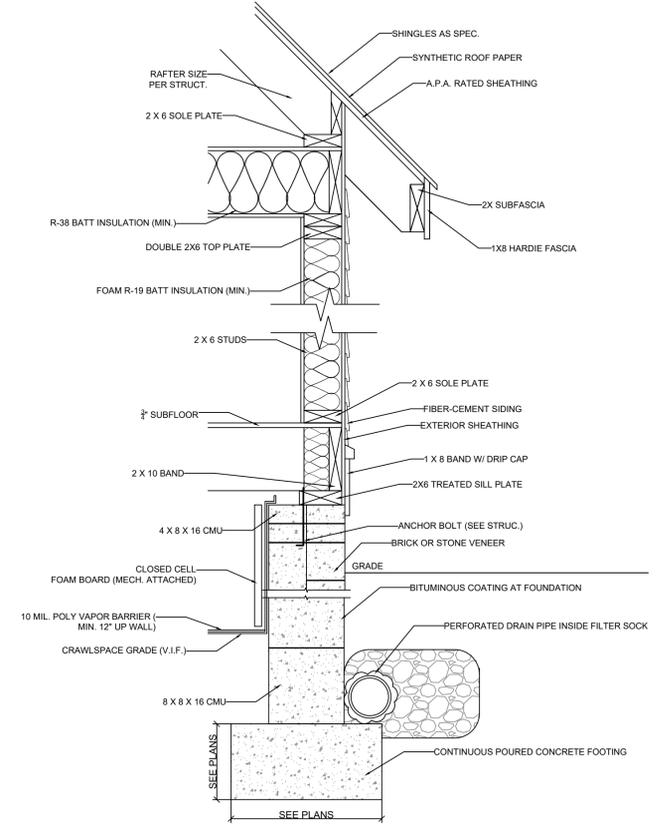
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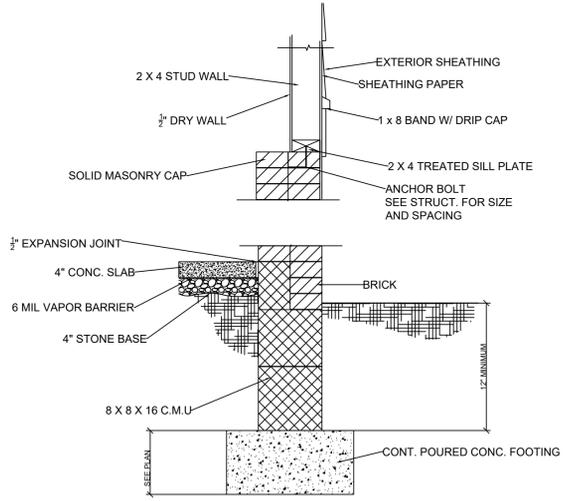
DETAILS



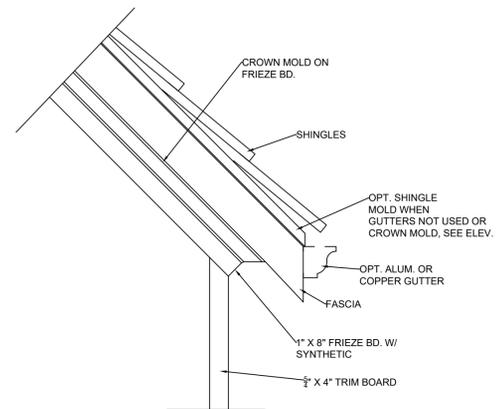
1 2-STORY WALL W/ SIDING
 SCALE: 1" = 1'-0"



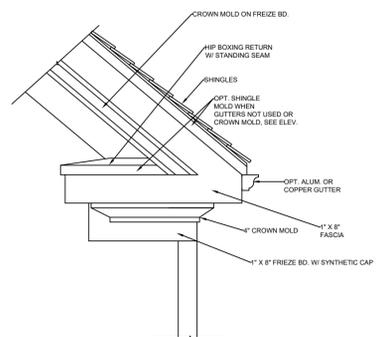
2 1-STORY WALL W/ SIDING
 SCALE: 1" = 1'-0"



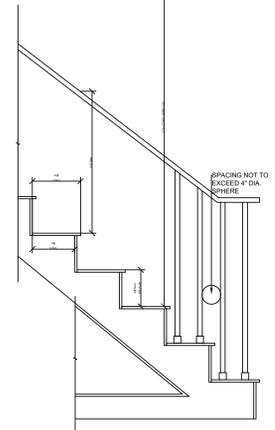
3 GARAGE WALL W/ SIDING
 DESIGNED FOR 115MPH WINDS



4 DOG EAR RETURN DETAIL @ 1" = 1'-0"



6 HIP BOXING RETURN DETAIL @ 1" = 1'-0"



5 TYP. STAIR DETAIL @ 1" = 1'-0"

PLANS DESIGNED TO THE 2018 NORTH CAROLINA RESIDENTIAL CODE HOUSE DESIGNED FOR 115 MPH 3 SECOND GUST, EXPOSURE B ANCHOR BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN 12" OF ALL PLATES SPLICES ANCHOR BOLTS SHALL BE MIN. 3/8" DIAMETER & SHALL EXTEND A MINIMUM 7" INTO MASONRY OR CONCRETE

MEAN ROOF HEIGHT = <30'-0"
 COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS

MEAN ROOF	UP TO 30'	30'-1" - 35'	35'-1" - 40'	40'-1" - 45'
ZONE 1	16.5, -18.0	17.3, -18.9	18.0, -19.6	18.5, -20.2
ZONE 2	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 3	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 4	18.0, -19.5	18.9, -20.5	19.6, -21.3	20.2, -21.8
ZONE 5	18.0, -24.1	18.9, -25.3	19.6, -26.3	20.2, -27.0

ROOF VENTILATING REQUIREMENTS

3150 / 150 SQ.FT. = 21 SQ.FT OF TOTAL ROOF VENTILATION REQ'D
 296'-0" (LINEAR FT. OF SOFFIT) X .035 (NET FREE AREA PER FT.) = 10.36 SQ. FT. OF AVAILABLE SOFFIT VENT
 88'-0" (LINEAR FT. OF RIDGE VENT) X .125 = 11
 10.36 + 11 = 21.36, WHICH MUST BE > OR = 21
 NOTE: FIGURE BASED ON SECTION R-806 OF THE 2018 IRC.
 NOTE: - SOFFIT VENT SPECS BASED ON HARDISOFFIT PANELS THAT ALLOWS 5 SQ. IN. OF NET FREE AREA PER LINEAR FT.
 - RIDGE VENT SPEC BASED ON VENTURIVENT PLES THAT ALLOWS 18 SQ. IN. OF NET FREE AREA PER LINEAR FT
 TOTAL NET FREE VENTILATING AREA IS PERMITTED TO BE REDUCED TO 1 TO 300:
 1. PROVIDED AT LEAST 50% AND NOT MORE THAN 80% OF THE REQ'D VENTILATING AREA IS PROVIDED BY VENTILATORS. REFERENCE R806.2 OF THE 2018 IRC. FOR PROPER LOCATION.
 2. WHEN AN APPROVED VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING

FOUNDATION VENT CALCS.

2363 SQ. FT. / 150 = 15.75 SQ.FT. VENT REQ'D.
 15.75 SQ.FT. / .56 = 28 VENTS TO BE PROVIDED
 NOTE: FIGURE BASED ON SECTION R-409 OF THE 2018 IRC.
 NOTE: FND VENT SPECS BASED ON PUSH/PULL POLYPROPYLENE FND.
 VENT THAT ALLOWS 72 SQ.IN. OF NET FREE AREA PER VENT
 1. WHERE CONTINUOUS OPERATED MECHANICAL VENTILATION IS PROVIDED AT A RATE OF 1.0 CFM FOR EACH 50 SQ.FT. OF CRAWL SPACE.
 2. THE CRAWL SPACE IS SUPPLIED WITH CONDITIONED AIR AND THE PERIMETER WALLS ARE INSULATED IN ACCORDANCE WITH SECTION R409 OF THE 2018 IRC.
 3. BUILDER/OWNER TO VERIFY VENT SIZE AND REQUIREMENTS PRIOR TO CONSTRUCTION. SEE SECTION R409 OF THE 2018 IRC.

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