



LAND PLANNING AND ARCHITECTURAL GUIDELINES

January 2, 2014

Legacy Lakes

DESIGN GUIDELINES

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MASTER PLAN

Purpose

This booklet has been produced for the purpose of assisting builders and homeowners in their decision making during the processes of designing, building, and maintaining their properties in the Legacy Lakes community. The guidelines contained herein will serve to inform the property owner of the regulations and processes they can expect to encounter as a part of the designed development as they describe a minimum standard of design principles. In conjunction with the Architectural Review Committee, these guidelines serve as a resource in the effort to making the building experience a positive one and helping to create the quality community envisioned by the developer and the designers.

These initial Design Guidelines have been prepared for Legacy Lakes and adopted by the Declarant pursuant to the Declaration. The Design Guidelines may be changed and amended to serve the needs of an evolving community pursuant to the procedures set forth in the Declaration.

Project

Legacy Lakes is a 404 acre master planned community located in Aberdeen, North Carolina, a growing Sandhills community located approximately fifteen minutes from the premier golfing village of Pinehurst. The development's design emphasizes diversity in single-family housing types and densities, exceptional attention to detail, a variety of open space elements, and pedestrian connectivity. The intent of the design, and the design guidelines outlined in this booklet, is to create a community which allows for maximum enjoyment of the natural and created features of the landscape including a golf course, lake views, and walkable distances to green spaces and other destination points along tree-lined streets. Home designs are attentive to the structure's relationship to the street and accompanying sidewalks and feature front porches, discreetly located garage fronts, and architectural elements and details which characterize a high quality traditional style. These elements contribute greatly to the neighborhood's distinctive character and help to define the overall design scheme, ensuring that the qualities that bring value to the property are protected.

Architectural Review Committee

The Architectural Review Committee (ARC) seeks to foster thoughtful design and to promote harmony among the residences before, during, and after construction. The Committee strives to be objective and maintain sensitivity to the individual aspects of each design. The primary goal of the ARC is to review the application, plans, specifications, contractors, materials, and samples submitted and to determine if the proposition conforms in appearance and construction criteria with the standards and policy as set forth by the ARC. It is the desire of the committee to foster design principles which contribute to the quality community envisioned in the Master Plan.

Key Design Guidelines

The ARC shall consider each site independently, but shall give extensive consideration to each individual plan's impact upon adjacent homesites, the golf course and views. Care must be taken to locate each structure, whenever possible, so as not to infringe upon view corridors, adjacent structures and homesites, and the natural and created features the Legacy Lakes community has to offer. Emphasis shall be on:

- Physical terrain of the site
- Views from the site
- Views to the site from adjacent lots
- Driveway access
- Height of structures
- Relationship to overall site amenities such as:
 - * Existing vegetation
 - * Water bodies
 - * Golf course
 - * Parks and open space

The list below is a summary of design elements required by the ARC:

1. Preservation of the natural character of the site, particularly the indigenous Longleaf Pine Habitat.
2. Emphasis on thoughtful architectural designs that exude warmth and artistic taste and foster the historical design concepts which contribute to a harmonious blend between the natural and created environments of the Legacy Lakes community.
3. Architectural elements that complement and reinforce the natural characteristics of the site including steeply pitched roofs of varying heights, window openings, porches, and patios. An abundant use of glass is encouraged: however, the fenestration should follow historical design concepts, rather than large expanses of plate glass or sliding glass doors. Dormers, clerestory windows, bay and bow windows are also encouraged to capitalize on views and light. Careful and sensitive detailing on entrances, fascias, soffits, gable ends, above doors and windows is desired.

Introduction to Architectural Review

Governmental Permits

To the extent that any Moore County or other local government ordinance, building code or regulation requires a more restrictive standard than the standards set forth in these Design Guidelines or the Declaration for Legacy Lakes, the local government standards shall prevail. To the extent that any local government standard is less restrictive, the Declaration and the Design Guidelines (in that order) shall prevail.

Applicability of Architectural Review

These Design Guidelines govern all property, which is subject to the Declaration and any additional property, which may be subject to the Declaration in accordance with the Declaration. Unless otherwise specifically stated in the Declaration or these Design Guidelines, all plans and materials for new construction or exterior modifications or improvements on a unit or parcel must be approved before any construction activity begins. Unless otherwise specifically stated in these Design Guidelines, no structure may be erected upon any unit or parcel, and no improvements (including staking, clearing, excavation, grading and other site work, exterior alteration of existing improvements, and planting or removal of landscaping materials) shall take place without receiving the prior written approval of the appropriate reviewer as described below. Where these Design Guidelines specifically allow an Owner (for purposes of these Design Guidelines, the term “Owner” shall refer to an “Owner” as defined in the Declaration) to proceed without advance approval, such allowance shall only be effective so long as the Owner complies with the requirements of the stated guideline.

Owners are responsible for ensuring compliance with all standards and procedures within these Design Guidelines. Owners are also governed by the requirements and restrictions set forth in the Declaration and any applicable Supplement. In particular, Unit Owners should review and become familiar with the Use Restrictions applicable to Legacy Lakes set forth in the Declaration, which address restricted and prohibited activities and conditions within the community.

Review Structure

Architectural review for Legacy Lakes is handled by either (i) the Declarant or its designee or (ii) the Architectural Review Committee.

- a. Declarant: The Declarant has exclusive authority to review and act upon all applications for review of proposed Improvements, as set forth in the Declaration.

The Declarant may from time to time, delegate in writing all or a portion of its rights under this Section to an Architectural Review Committee appointed by the Association’s Board of Directors. In the event of such delegation, the designee’s jurisdiction shall be limited to such matters as are specifically delegated by the Declarant. In addition, any such delegation shall be subject to the right of Declarant to revoke such delegation at any time and reassume jurisdiction over the matters previously delegated.

- b. Architectural Review Committee: The Architectural Review Committee (ARC) has jurisdiction over those responsibilities delegated to it by the Declarant during Declarant control. Following the Declarant control period, the ARC has jurisdiction over all matters relating to improvements of residential properties, as set forth in the Declaration. The ARC shall be the conclusive interpreter of these Design Guidelines, shall monitor the effectiveness of these Design Guidelines, and may promulgate additional Design Guidelines and review procedures consistent with these Design Guidelines. Members of the ARC will be appointed in accordance with the Declaration.

Review Fees

The ARC reserves the right to assess a "Review Fee" for the submittal of an Architectural Request Form. Fees may vary according to the type of construction, modification, improvement, etc.

Functions of the Committee

1. The ARC will evaluate each of the housing units submitted by an owner to determine its adherence to the design criteria and performance and quality standards set forth in the Design Guidelines and compatibility of the design with the adjoining sites and common spaces.
2. The ARC will interpret the standards at the request of the owners. If conflicts arise in meeting these standards, the ARC will review and evaluate the conditions.
3. The ARC has the right to grant variances from the Design Guidelines in accordance with the Declaration of Covenants, Conditions and Restrictions.
4. The ARC shall have the right to monitor and overview the design and construction process in order to ensure conformance with the approved documents and the standards set forth in these Design Guidelines.
5. The ARC shall review each submittal and respond, authorizing the continuation through the next phase of the review process. Unapproved submissions shall be revised and resubmitted for review and approval. Approval will be in writing and shall in no way relieve the owner of his responsibility and liability for adherence to any application ordinances and codes.
6. The ARC will have the right to disapprove any builders.
7. The ARC may at its own discretion approve or disapprove any proposal based on the project's appropriateness to the community.
8. The ARC has the right to determine compliance with the Guidelines during the review and construction process. If, in the opinion of the ARC, an owner is not abiding by the Guidelines as set forth herein, the ARC shall have the right to make corrective measures using the deposit monies set forth in accordance with the covenants.
9. The ARC does not assume responsibility for the following:
 - a. The structural adequacy, capacity or safety features of the proposed improvement or structure.
 - b. Soil erosion, uncompacted or unstable soil conditions, or site/drainage elevations.
 - c. Compliance with any or all building codes, safety requirements, governmental laws, regulations or ordinances.
 - d. Performance or quality of work of any contractor.
 - e. Sanitary sewer.

Architectural Review Procedures

Review of New Construction

Plans for new construction upon any Unit or Parcel must be reviewed and approved by the Declarant until such time as the Declarant relinquishes or assigns this right. The procedures for review of new construction are listed below and described in further detail on the pages that follow.

1. A Preliminary Design Review is required and serves to determine compliance and appropriateness of the design. At this stage, the Owner can evaluate if the architectural and site selections being made are suitable prior to significant financial commitments.
2. A Final Design Review is required prior to the commencement of sitework (i.e. clearing or grading). Upon Final Design Review approval construction may begin.
3. Post-Construction Requirements are required and serve to provide the ARC with necessary documentation upon completion of construction.

Review of Modifications

The review of modifications shall require the submission of an Architectural Request Form to the Reviewer along with any applicable review fee. A copy of the Architectural Request Form is included in the appendices section of this document.

Review Criteria, Recommendations, Variances

While the Design Guidelines are intended to provide a detailed framework for construction and modifications, the Design Guidelines are not all-inclusive. In its review process, the Reviewer may consider the quality of workmanship and design, harmony of external design with existing structures, and location in relation to surrounding structures, topography, and finish grade elevation, among other things. Reviewer decisions may be based on purely aesthetic considerations. However, no Reviewer shall grant approval for proposed construction that is inconsistent with the Design Guidelines, unless such Reviewer grants a variance.

Review Period

Each Architectural Request Form and plan submittal shall be approved or disapproved within thirty (30) business days of receipt of all materials and fees required by the Reviewer. Within thirty (30) business days of receipt of a complete review request, the Reviewer shall respond to Applicant. A copy of the Architectural Request Form shall be returned to the Applicant, accompanied by the Reviewer's decision. The Reviewer's decision shall be rendered in one of the following forms:

1. "Approved" - The entire application as submitted is approved.

2. “Approved With Limiting Conditions” - The application is not approved as submitted, but the Reviewer’s suggestions for curing objectionable features or segments are noted.

The Applicant must correct the plan’s objectionable features or segments, and the Applicant may be required to resubmit the application and receive approval prior to commencing the construction or alteration.

3. “Denied” - The entire application as submitted is rejected in total. The Reviewer may provide comments but is not required to do so.

If the Reviewer fails to respond within thirty (30) business days, approval shall be deemed granted. However, no construction or modification that is inconsistent with the Declaration or the Design Guidelines shall be deemed approved, unless the Reviewer has granted a variance.

Appeal

Any Applicant shall have the right to appeal a decision of the Reviewer by submitting to the ARC, no later than fifteen (15) calendar days after the delivery of the notification of disapproval, a copy of the original application, the notification of disapproval, and a letter requesting review of the decision. The appeal request shall also contain a response to any specific concerns or reasons for disapproval listed in the notification of disapproval. The ARC may (i) affirm the original decision, (ii) affirm a portion and overturn a portion of the original decision, or (iii) overturn the original decision in its entirety. The ARC shall notify the applicant in writing of its decision no later than thirty (30) calendar days after its receipt of the request for appeal with all required information. During the appeal process the Owner shall not commence any work requiring approval hereunder. The filing of an appeal does not extend any maximum time period for the completion of any new construction or modification.

Moore County and Town of Aberdeen Approval

The review and approval of plans and specifications shall not be a substitute for compliance with the permitting and approval requirements of Moore County, the Town of Aberdeen or other governmental authorities. It is the responsibility of the Applicant to obtain all necessary permits and approvals.

Implementation of Approved Plans

All work must conform to approved plans. If it is determined that work completed or in progress on any Unit or Parcel is not in compliance with these Design Guidelines or any approval issued by the Reviewer, the Reviewer shall, directly or through the ARC, notify the Owner in writing of such noncompliance specifying in reasonable detail the particulars of noncompliance and shall require the Owner to remedy the same. If the Owner fails to remedy such noncompliance or fails to commence and continue diligently toward achieving compliance within the time period stated in the notice, then such noncompliance shall be deemed to be in violation of the Declaration and these Design Guidelines.

If construction is not completed on a project within the period set forth in the approval or within any extension approved by the Reviewer, the approval shall be deemed withdrawn, and the incomplete construction shall be deemed to be in violation of the Declaration and these Design Guidelines.

Changes After Approval

All proposed changes to plans made after the approval of plans must be submitted to and approved in writing by the Reviewer prior to implementation. Close cooperation and coordination between the Applicant and the Reviewer will ensure that changes are approved in a timely manner.

If Moore County or the Town of Aberdeen or any other authority having jurisdiction requires that changes be made to final construction plans previously approved by the Reviewer, the Applicant must notify the Reviewer of such changes and receive approval from the Reviewer prior to implementing such changes.

Enforcement

In the event of any violation of these Design Guidelines, the Declarant or the ARC may take any action set forth in the By-Laws or the Declaration.

Preliminary Design Review

At the Preliminary Design Review the owner must submit to the Legacy Lakes ARC of the following:

1. Preliminary Design Review Application.
2. Preliminary site plans. Indicate location of structure(s), driveways, walks, swimming pools, walls, enclosures, decks, all lot utilities, etc. Scale is to be a minimum of 1" = 20'. Show all setbacks and proposed pad elevations in relationship to street elevations.
3. Preliminary floor plan
4. Preliminary elevations and sections of all sides of the proposed structure, together with roof pitches, heights of structures, chimneys, etc.
5. Square footage must be indicated on the plans in the following manner:
 - a. First Floor
 - b. Second Floor (if applicable)
 - c. Garage
 - d. Patio, decks, courtyard, etc.
6. The Committee will review the application and design documents and on-site staking at its next regularly scheduled meeting and return one set of plans to the owner with the appropriate comments within thirty (30) business days of receipt of the complete review request.

* Fees may be required should it become necessary to utilize professional consultants during the review process. Such fees will be incurred at an hourly rate.

Final Design Review

At the Final Design Review the owner must submit the final construction plans, one set of the material samples, and color chips as follows that will be held by the ARC until completion of the home:

1. Final Design Review Application
2. Final Site Plan to include but not be limited to:
 - Name of Owner and property address
 - Scale of 1" = 20' (minimum)
 - North Arrow and Legend
 - Property lines with dimensions
 - Topography
 - Easements, right-of-ways, setbacks and building envelope
 - Floodplain (if applicable)
 - Utility or other easements on the property
 - Legacy Lakes boundary if perimeter lot
 - Dimensioned building location, driveways, walks, patios, etc.
 - Roadways and culverts with street names
 - Proposed grading and drainage plan
 - Proposed decks, patios, structures
 - Existing grade/finished floor elevations
 - Existing tree locations and sizes 5" caliper and greater
 - Fences and/or walls
 - Mechanical equipment locations
 - Tree and natural area protection areas, significant natural elements or features

NO INCOMPLETE PACKAGES WILL BE ACCEPTED

Note: Each lot is responsible for drainage of all surface water within the confines of its own lot and shall not impose increased drainage to adjoining properties.

3. Final Floor Plans to include but not be limited to:
 - Scale 1/4" = 1'-0"
 - Finished Floor Elevation
 - Location of exterior meters and other utility related equipment
 - All electrical including any exterior lighting
 - Trash receptacle locations

4. Final Exterior Elevations to include but not be limited to:

Scale 1/4" = 1'-0"

Plans must show all four elevations of the residence, doors, windows, fences, mechanical equipment and any surface-mounted exterior lighting fixtures.

Building height and dimensions

5. Final Building Details to include but not be limited to:

Minimum scale of 1/2" = 1'-0"

Detail roof sections, pitch, type

Detail wall sections

Detail fascia and trim

6. Exterior Colors/Finishes/Materials

including: Specifications

Manufacturers/models (if possible)

Product samples/photos/Color chips

7. Landscape Plan (if available, must be approved prior to installation) including:

Scale 1" = 20'

Topography

Existing and Proposed Drainage patterns

Easements and right-of-ways

Existing trees 5" caliper or greater

Plant list with quantities, size and drawn to scale (approximate)

Plant material locations

Street Trees

Boundaries of all landscape treatments including sod and planting areas

Complete irrigation plan (if applicable)

Site and accent lighting details

Surface material

The owner shall submit two complete sets of working drawings by a professional designer, landscaper or engineer and specifications for final review to ensure adherence to the approved preliminary design before making any submissions to any governmental authority.

The ARC will review all design documents and return one set of plans to the owner with the appropriate comments within thirty (30) business days of receipt of the complete review request.

Any subsequent changes required to comply with applicable codes must be resubmitted for approval. Any changes in material samples shall be submitted. The Committee may request a meeting to discuss modifications of the drawings or of the specifications

A final on-site review of the Final Design will be conducted by the ARC. The following items are to be stakes and flagged on site for the purpose of this review:

1. All building corners.
2. All property lines and setbacks - at the corners.
3. All ornamental trees and any tree of 6" caliper or greater to be removed.

Note: Lot clearing or grading may not begin until final on-site review and approval by the ARC.

Post-construction Requirements

Upon completion of construction, the following will be confirmed by the ARC. Any items not in conformance with the ARC approval or items not meeting these guidelines must be modified prior to final sign-off by the ARC.

1. Final “as-built” conditions to be reviewed by the ARC will include the following:

- Mailboxes
- Foundation Treatment
- Garbage can screening
- Mechanical equipment screening
- Street Trees installation
- Sidewalk installation (if required)
- House numbers

2. Certificate of Occupancy from Town of Aberdeen Planning Department

Architectural Standards

Purpose

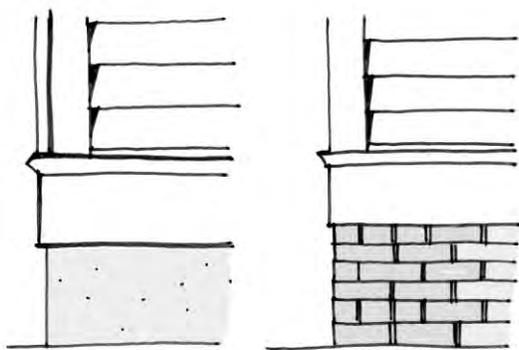
The purpose of these Architectural Standards is to provide an overall framework for the residences within the Legacy Lakes community that will ensure orderliness and cohesiveness in design. By developing these standards, the community's designers aim to create and maintain the quality development that initially attracted you to Legacy Lakes.

Minimum Heated Square Footage Requirements

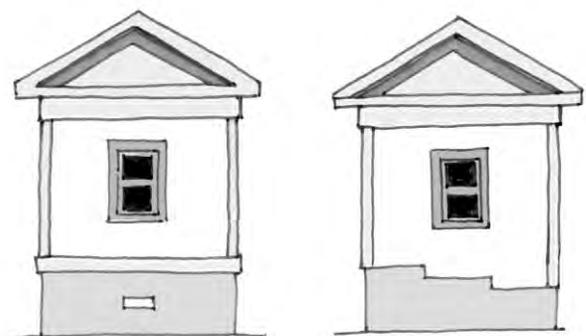
A minimum and maximum area of heated floor space has been established for each phase and lot type in neighborhoods within the development. See setbacks/restrictions/building envelopes section for minimum heated floor space requirements for each lot type. In all lot types the maximum heated floor space allowed is 10,000 square feet.

Foundations

All foundations sixteen (16) inches above grade shall be finished with brick, stone, stucco or ARC-approved veneer. Exposed concrete or concrete block foundation walls are allowed on foundations under 16", only if covered with a parge coating which hides mortar joint lines. Additional landscaping may be required to screen parge coated foundation walls. Decorative block must be in keeping with the architectural character of the house and be approved by the ARC.



EXAMPLES OF MASONRY BASE WITH
SUBSTANTIAL FLOOR BAND



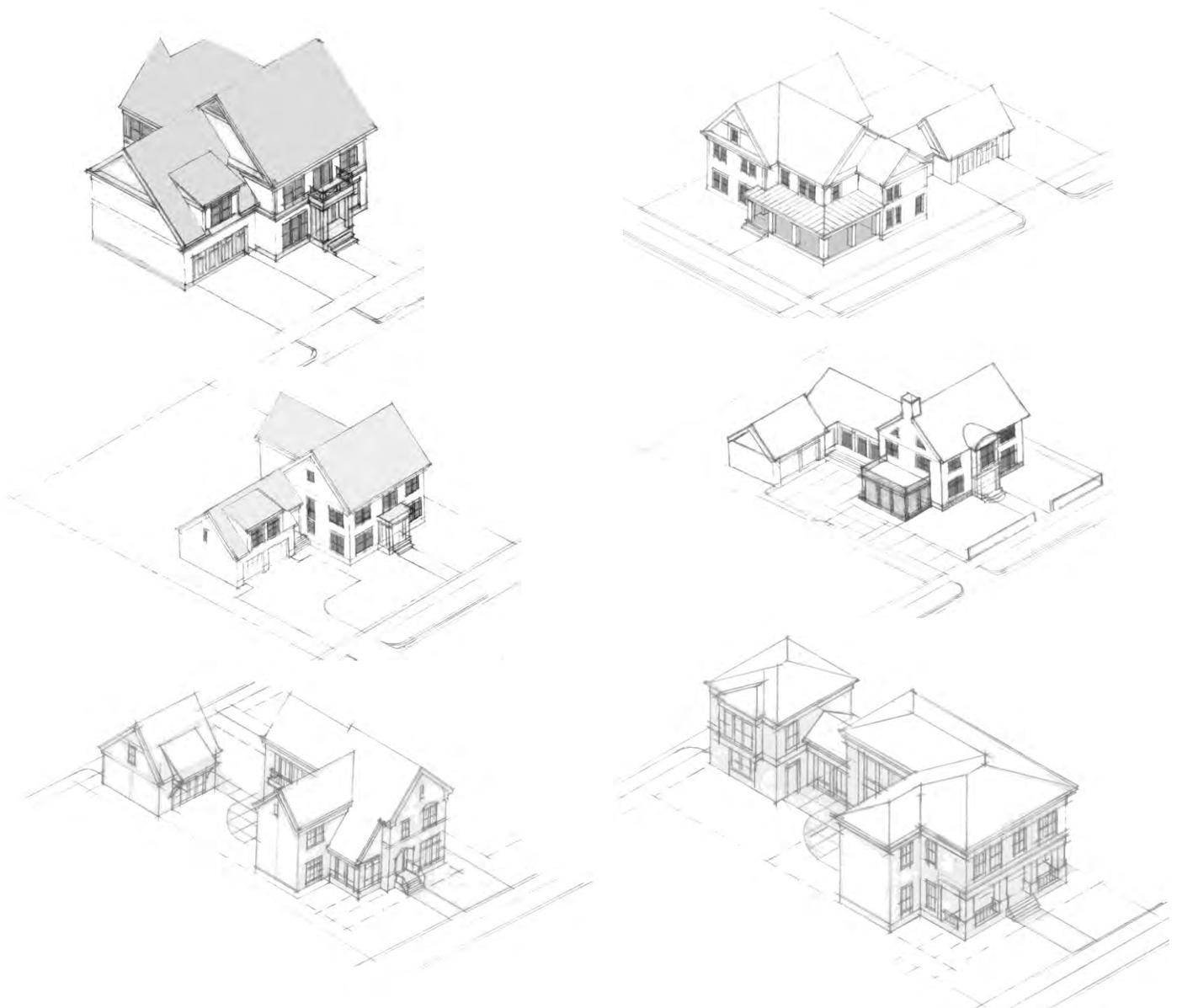
YES

NO

Individual House and Streetscape Massing

A variety of exterior detailing and overall form within the community is encouraged to limit the potential for identical or similar massings and styling on properties adjacent to or across the street from one another. Houses situated on corner lots shall be styled and massed appropriately to each street view.

No building shall exceed a height of 2-1/2 stories on the street elevation. Maximum building height shall be 35 feet as measured from the uphill side of the lot. Individual houses should utilize simple geometric shapes and pitched roofs. All houses are strongly encouraged to employ a front porch or covered entry stoop.



Architectural Character/House Styles

The architectural character of houses in the Legacy Lakes development should reflect a range of indigenous Southern traditional styles of the 19th and early to mid 20th century or other similar styles as approved by the ARC. Georgian, Colonial, Craftsmen, Cottage and Bungalow styles are encouraged but not required.

It is not the intention to limit architectural style to a particular theme or architectural period; rather, it is the intent to promote building scale, massing and character and architectural details and material which relate to the attributes of the community.

Reference books on house styles and construction patterns can be valuable resources. Recommendations include *Traditional Construction Patterns* by Stephen A. Mouzon and *A Field Guide to American Houses* by Virginia and Lee Moalestur. For additional examples see pages 66 and 67 of this document.



ARCHITECTURAL STYLES VARIED BUT COMPLIMENTARY

Exterior Detailing

Front “facade” homes will not be permitted (i.e. brick front with all other elevations of siding). Eave details should be uniform around all elevations of the home.

All portico and porch columns should reflect historically based details and proportions.

Exterior Materials and Colors

Approved exterior wall materials include wood, brick, stone, stucco, fiber cement, or shingle siding. Approved exterior trim materials include brick, stone, fiber cement, wood, shingle siding or high quality vinyl. All elevations of a house should utilize the same materials. The use of more than two materials, except in the use of horizontal and shingle siding combinations with a third material, is not encouraged. Siding should produce horizontal lines no less than four inches and no more than seven inches apart. Porch and covered-entry stoop ceilings should be of a wood, fiber cement material, high quality vinyl, bead board, v-groove or batten design with no visible perforations or joints.

The use of the following materials are appropriate:

1. Brick - All brick colors and mortars must be approved by the ARC.
2. Stucco - Historically based smooth or textured stucco finishes are allowed.
3. Stonework - A sample must be provided for approval by the ARC.
4. Wood Siding - All wood siding must be full profile and properly/fully finished.
5. Cementitious siding is allowed.
6. Vinyl is not permitted as a siding material, but may be used for trim work and detailing. Soffits may be vinyl; vinyl clad windows are also allowed. High quality vinyl shakes may be used in gables or as accents. A material sample must be submitted.
7. Manufactured Stone

Note: No plywood or metal siding is allowed.

Primary colors for all exterior building surfaces must complement the architectural theme of the house. Inappropriate use of materials and colors, as determined by the ARC, will not be allowed, particularly bright colors.

Owners may repaint in accordance with the most recently approved color scheme of any dwelling or improvement. Reviewer approval is required for all changes in exterior painting. Review criteria may include, but shall not be limited to, the sheen of paint, the home's architecture, any existing stone or brick accents, roof color, and neighboring properties' colors.

Roofs

Roof pitches and overhangs may vary as necessitated by architectural design; however, no flat roofs are allowed as a major structural element. Roof overhangs are recommended to protect from the sun and rain. Trellises and arbors are encouraged to provide passive energy conservation.

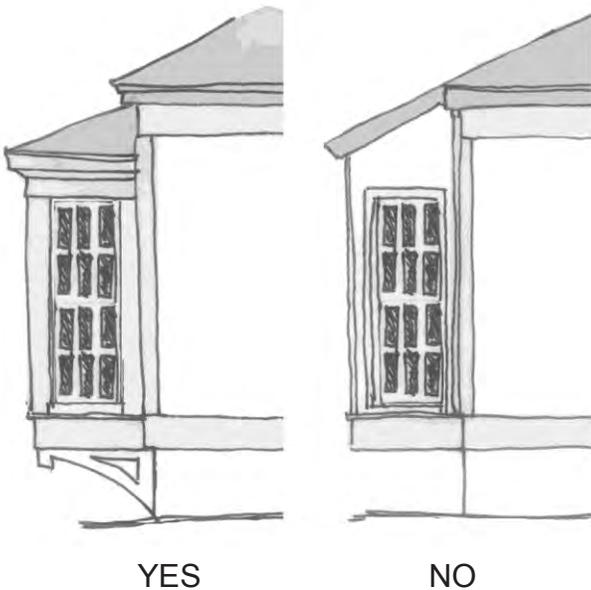
Houses with pitched roofs of 6 in 12 and a maximum pitch of 12 in 12 are encouraged. Special cases will be considered by the ARC if in keeping with the architectural character of the house and neighborhood. Shed roofs for porches may have a lower pitch. Houses may have gabled, hipped or shed roofs. Exposed rafter tails are allowed but the design must be approved by the ARC.

Roofing materials may be cedar or pressure-treated wood shingles or shakes, 30 year architectural asphalt or fiberglass shingles, slate or standing seam metal of natural colors. Standing seam metal roofing shall be traditional field formed standing seams with maximum of 1/2 inch wide x 1-1/4 inches high seam. Other comparable roof materials may be submitted to the ARC for consideration on a case-by-case basis. Reviewer approval is required for a roof material change.

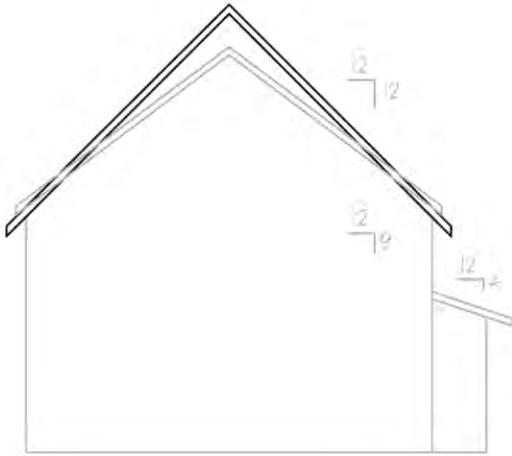
Combinations of roofing materials may be allowed when appropriate to the architectural character of the house. Roofing colors must be approved by the ARC.

Gable and decorative roof vents shall be in keeping with the architectural character of the house. Ridge vents, if used, must be of the “shingle over” design extended to the outer edge of the roof ridge. All roof stacks, flashings, vents or protrusions from the roof shall be painted deep gray or the same color the roof will be at maturity. Roof stacks and plumbing vents shall be placed on rear slopes of the roofs where possible so as not to be visible from the street.

Solar water heating panels are not allowed without approval from the ARC.



Bay roofs shall be auxiliary forms, not an extension of the main roof.



Roof slopes of 6:12 to 12:12 are encouraged for the dominant roof form, with 4:12 minimum for auxiliary forms, including porch roofs.

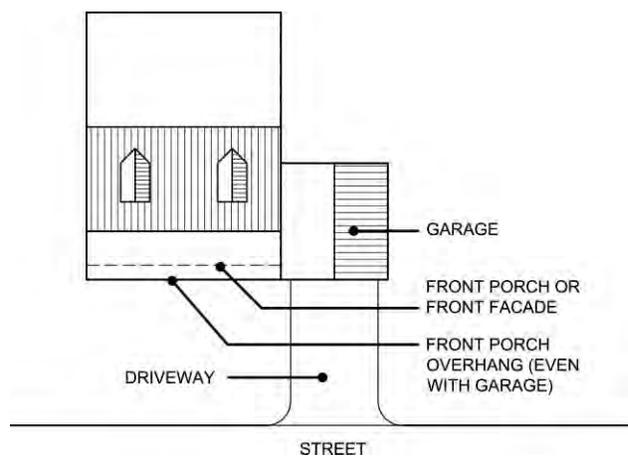
Fascia, soffit and frieze are part of the roof to wall design with a full pediment or cornice return at the gable ends.

Garages

All garage door designs must be approved in advance and must be consistent with the design of the home. Clopay Gallery or Grand Harbor Collections or equivalent designed doors are acceptable. All garages must be equipped with automatic door openers and should be kept closed when not in use. Generally, where lot frontages allow, side entry garages are encouraged. Lots backing to alleys will require rear-loaded garages accessible from the alley.

Garages shall be located and treated so that approaches to houses are not visually dominated by the garage. Detached garages are generally not encouraged but if allowed shall complement the architectural style of the house.

Garage doors which face the street must be recessed or even with the main house front façade. This includes the projection and roof line of the front porch. The design of these garage doors should be in keeping with the architectural character of the house and must contain glass windows.



Accessory Buildings

Accessory buildings are not permitted on lots within the Legacy Lakes development.

Additions and Expansions

Reviewer approval is required for any addition to or expansion of a residence. Materials shall match the existing residence.

Doors/Front Entrances

Wood, metal or fiberglass entry doors in paneled or half-glass designs are encouraged. Entry door assemblies with sidelight transoms appropriate to the architectural character of the house should be employed where possible. Wood and metal doors of similar design are allowed in other areas. Metal entry doors must be approved by the ARC.

ARC approval is not required for the addition of screen doors or other type doors to a home if the material matches or is similar to existing doors on the house and if the color is generally accepted as complementary to that of existing doors on the house. Security measures for doors must be approved by the ARC; no “burglar bars”, steel or wrought iron bars, or similar fixtures shall be installed on the exterior of any doors of any dwelling.

Windows/Shutters

Windows should be clear glass or a tinted glass of bronze, gray, green or smoke colors and energy-efficient; double-insulated glass is encouraged. No reflective glass or reflective tinting is allowed. Stained glass/art glass accents will be reviewed on a case-by-case basis by the ARC, as will security measures for windows. However, no “burglar bars”, steel or wrought iron bars, or similar fixtures shall be installed on the exterior of any window of any dwelling. Internal spacer bar grids (that mimic the pattern of the interior and exterior muntin grids) are highly recommended for simulated, divided lite windows in order to achieve the appearance of true divided lite windows.

Windows should be of a size and design appropriate to the architectural character of the house. Windows should be approximately a 2 to 1 proportion height to width. Various styles such as double hung, casement or awning are acceptable if compatible with the style of the house. Examples of acceptable window pane arrangements are 1/1, 2/1, 3/1, 4/1, 2/2, 6/6, or 6/9 where the first number is the upper sash and the second number is the lower sash of the window. These window configurations are required on all facades of the home. Windows may be prefinished aluminum, vinyl clad, painted wood, clad wood or other approved material if sized, proportioned and finished to look like painted wood.

Window jamb trim shall be a minimum of three (3) inches wide and included on all front and side elevations. Decorative trim is encouraged. Sills are required on all windows.

Non-shuttered windows visible from the street should have a more decorative head and sill treatment. Simpler trim is permitted with shuttered windows.

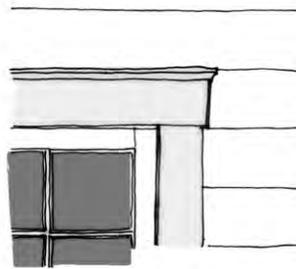
Shutters or high quality vinyl are encouraged on house facades visible from the street. Shutter materials must be wood or solid PVC and should be proportioned to cover the window individually or in pairs when closed. Shutters may be louvered or paneled in design and must be attached to the house using appropriate holdback hardware. (not required to be operable).



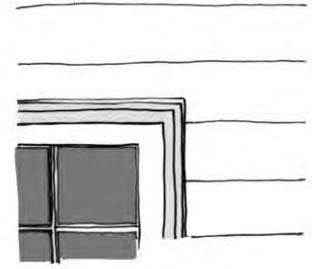
Windows and doors should be trimmed with a minimum of 1 x 4 wood or hardboard or a 2" wide minimum brickmold.

Windows should be vertically proportioned with a 1; 1.6 ratio.

Shutter should be appropriately sized.



YES

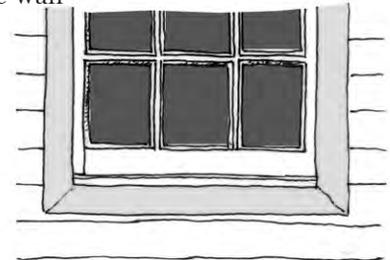


NO

Window casing should visually carry the weight of the wall



YES



NO

Window sills should act as a visual base, not as applied trim

Roof Windows

Skylights and/or roof windows are not permitted on the primary elevation(s) of the home. These roof windows will only be permitted on secondary elevations if they properly align and complement the home elevations. Dormer windows are the preferred alternative. Dormers must also maintain an alignment balance with the home elevation. All roof windows must be flat glass. No plastic bubbles will be allowed. ARC approval is required for skylights having measurements exceeding three feet by five feet.

Any installed solar energy equipment shall have the appearance of a skylight, shall have a finished trim material or curb, and shall not be visible from the street. Landscaping or other buffering may be required for solar panels at the discretion of the ARC.

Typical Window Designs

Arched and half-round windows are to be used only if they are indigenous to the architectural style of the house. Boxed bay and bay windows are encouraged. Window projections of more than 30 inches shall extend to finished grade. Bay window roofs may be copper or prefinished metal. Projections of less than 30 inches must be bracket-supported.

Dormers

Dormer windows in single or paired configurations are encouraged. Dormers may have gabled, hipped or shed roofs. Trim should be in keeping with the overall character and detailing of the home.

Dormer and windows should be correctly proportioned so that the window fills the dormer face.

The dormer roof should also be proportional, not oversized.

Single window dormers should be proportioned vertically, not horizontally.

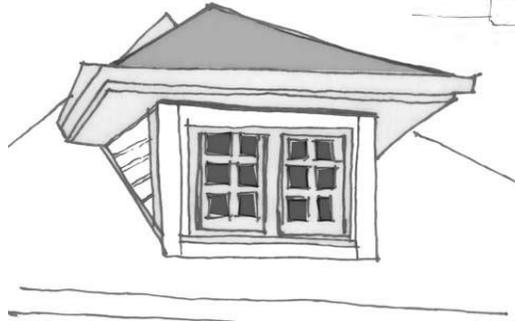
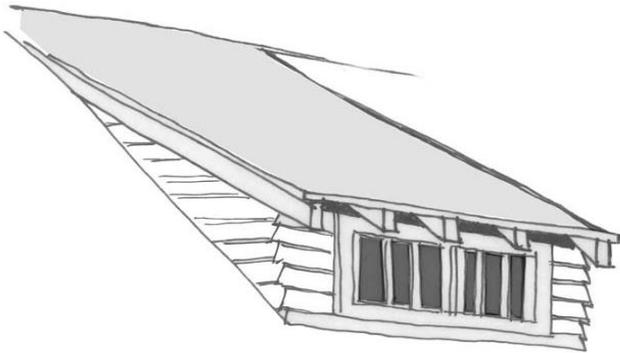
The walls of the dormers should be at least 3' from any outside building wall.

Dormer styles should match the architectural style of the house.

Bay window roofs may be copper, prefinished metal, asphalt or fiberglass shingles.



ACCEPTABLE DORMER STYLES



UNACCEPTABLE DORMER

Excessive use of siding on face of dormer with no window trim. Dormer roof must have roof overhang comparable the rest of the home.



Window Boxes

Flower boxes and decorative urns are encouraged where appropriate on house facades visible to the street. Boxes may be constructed of wood or other approved materials. Urns may be constructed of cast concrete or other approved materials.

Artificial flowers are prohibited.

Awnings and Canopies

Awnings and canopies must be approved by the ARC before affixing to the exterior of the residence. The awning or canopy color must be the same as or generally recognized as complementary to the exterior of the residence.

Decks and Porches

Full architectural details are required for all decks and patios. Detailing of all patios and decks must be architecturally compatible with the home. Patios and decks shall be designed to appear as an extension of the house, using similar materials, colors and details. Rails, pickets and underpinning must be painted or stained to complement the trim of the house. Enclosed patios shall be constructed of materials that are similar to or generally accepted as complementary to those of the residence.

Views to the underside of decks must be screened with underpinning (latticing or vertical slats, etc.) and/or landscape material large enough to provide screening upon installation. Decks more than 3 feet above grade must have underpinning and plant materials.

Porch screening colors shall complement and blend with the house. No mill-finish aluminum will be allowed as framing for a porch.

All houses are encouraged to have a front porch or covered entry stoop. Decks, patios and screened porches are encouraged off the rear of the house.

Porches shall have a minimum front projection of 5 feet. Wrap-around porches may have a narrower side projection but in no case less than 5 feet. Covered entry stoops shall have a minimum front projection of 4 feet and a maximum projection of 6 feet. No porch shall exceed 12 feet in front projection. Porch floor treatments may include wood or composite decking, brick, brick edged and divided concrete, stone or tile. Deck railings constructed of high-quality vinyl are permitted with express approval of the ARC.

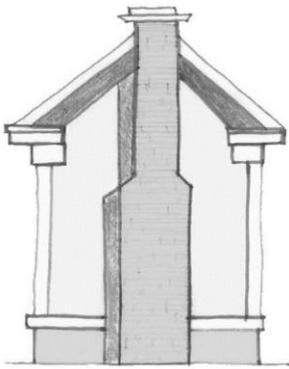
Railings may be constructed of wood, composite material or high quality vinyl (sample may be required).

Staircases

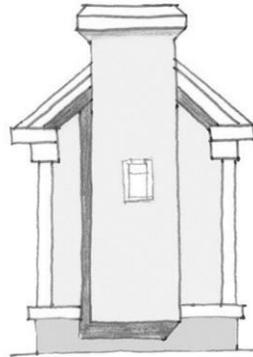
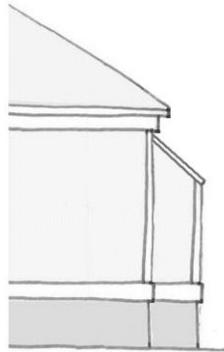
External staircases should be brick, stone or wood appropriate to the architectural style of the house. Concrete steps are allowed only if finished on the sides or enclosed with cheek walls of brick, stone or stucco.

Chimneys

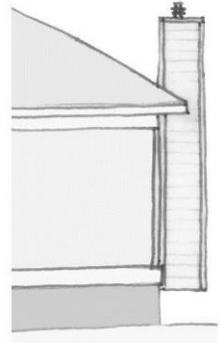
All exterior chimneys for wood burning fireplaces must be full foundation based masonry or stone chimneys. Chimneys for direct vent and gas fireplaces may be masonry, stone, cementitious board or siding to match siding and foundation treatment on the home exterior. Direct vent fireplaces are allowed with a metal cap. All chimneys must be compatibly positioned and proportionately balanced within the home's elevation(s).



YES



NO



Gutters and Downspouts

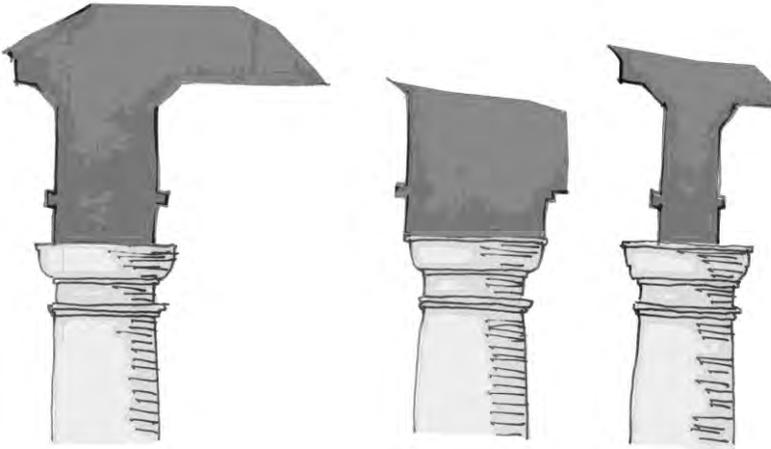
All home plans submitted for review must indicate the full extent of proposed gutters and all downspout locations as well as the routing of all underground piping. If gutters and downspouts are used, gutters must be of a material and color that complements the materials and colors of the home's exterior. Downspout locations should be coordinated with the building elevations (i.e. located in corners, not protruding from walls).

Railings and Columns

Porch columns should be architecturally correct and proportioned to the house. (A minimum of 8 inches square or 8 inches in diameter is recommended.)

Railings shall consist of round, decorative or square balusters with appropriate horizontal cap and bottom rails. Intermediate or end railing posts or piers should utilize decorative newel ball caps and moldings.

All support posts must be a minimum cross-sectional size of 6 x 6 inches nominal or greater in proportion to height of deck. All metal posts must be boxed in wood or other approved materials. Views to underside of deck must be screened as described in decks and porches section above.



YES

NO

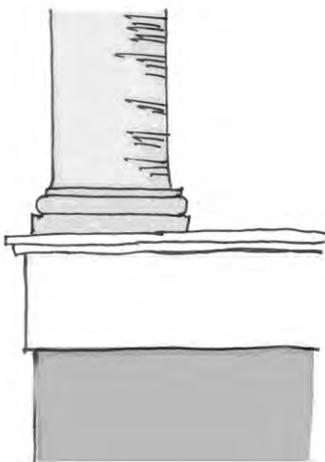
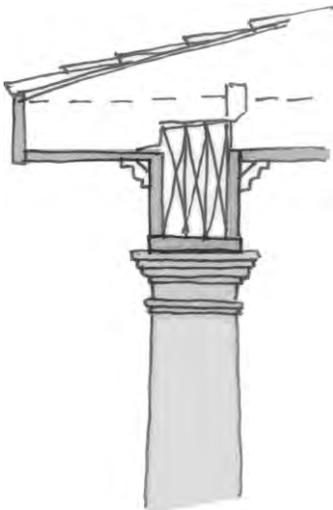
Both faces of the beam or architrave should align with the top of the column shaft, regardless of column style.

The porch beam should be trimmed with a minimum of 10" of material in a traditional configuration.

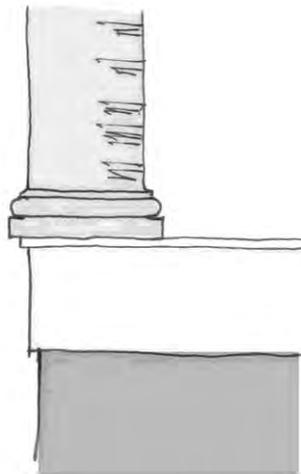
Rules governing column styles should be derived from the overall architectural style of the house.

Columns should be proportionally spaced between 7' and 9' on center and a minimum of 8' tall.

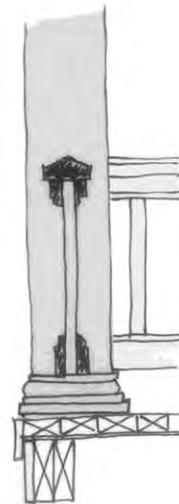
The column base should not project more than the line of the foundation below.



YES



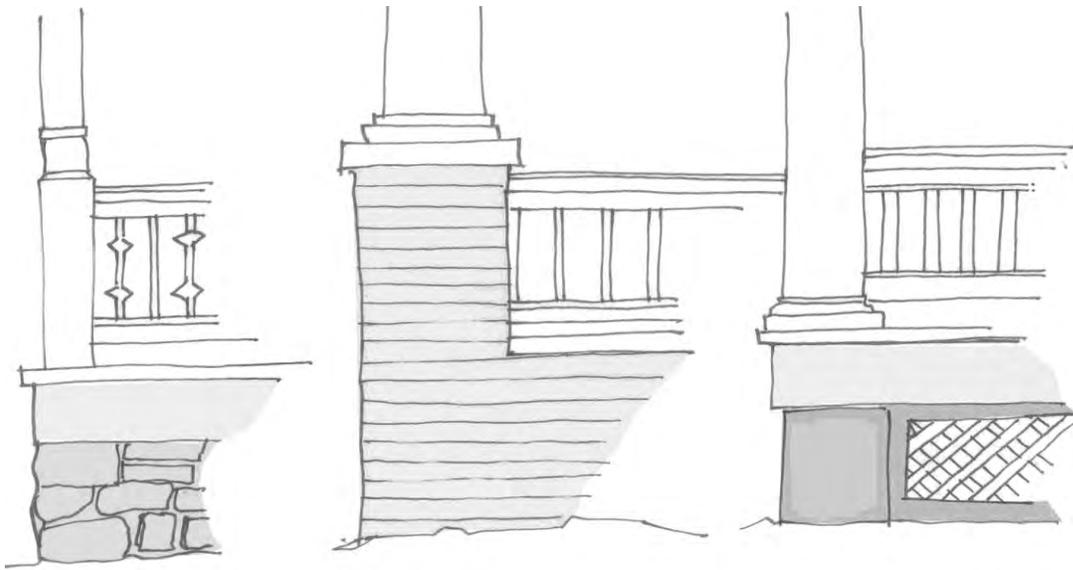
NO



Typical Porch Foundations

Railings should have a top cap, both top and bottom rails, with the bottom rails clearing the floor, and balusters or pickets spanning between.

The area underneath the porch shall be enclosed with masonry, wood boards, or lattice.



A VARIETY OF PORCH BASES DEPENDENT ON ARCHITECTURAL STYLE

Exterior lighting, Ceiling fans and Porch swings

Lighting of individual residential lots may include pole lighting, building-mounted lighting, shielded landscape spot lighting, and ground level illumination of walks, driveways and patios. Pole lighting shall not exceed 8 feet in height. Exterior spotlights or floodlights must be hooded and directed to eliminate glare onto adjacent properties.

Lighting style shall complement the exterior architecture as well as any lighting located in the area associated with the neighborhood streetscape design. Exterior bracket, pendant, pier and/or post lighting, ceiling fans and porch swings shall be consistent with the architectural character of the house. Lighting fixtures should be correctly proportioned to the house facade. Gas light bracket and post-mounted fixtures are acceptable. All lighting should be low level, non-glare type and located to cause minimal visual impact to adjacent streets and properties.

All exterior site lighting fixtures shall be approved by the ARC. Fixture locations must be identified on the Site Plan and Building Elevations (drawn to scale) and fixture cut sheet must be provided for review.

Site Standards

Purpose

The purpose of these Site Standards is to set the aesthetic criteria for the development of the Legacy Lakes community. The standards are intended to allow and encourage variety and individuality of design while maintaining a compatible character within the development. Specifically, the desire of the designers is to ensure that lots and the siting of structures upon them encourage the following principles:

1. The protection and conservation of significant natural and created site features.
2. The preservation of significant existing vegetation.
3. An overall respect for the site's existing topography.
4. Ensure that storm drainage does not run-off directly onto adjacent properties or sensitive areas.
5. A continuity of aesthetics and design principles throughout the community.
6. A pattern of establishing a strong relationship of the residence to the street in order to promote a safe and social community environment.
7. The establishment of a pedestrian scale in site elements.
8. Circulation systems which encourage pedestrian usage and deemphasize the automobile.
9. A gentle transition between the public and private spaces within the community.
10. The recognition of the individual site's contribution to the overall community identity.
11. Sodding is required on all areas of lawn with the exception of non-golf course lots which may be seeded in the side and rear yards.
12. Irrigation is required in front yards.
13. Bark and pine straw mulch are allowed.

Lot Types and Terminology

Each lot has setback requirements that define a minimum yard between houses, streets, and community amenities that frequently occur beyond the rear property lines of the residences. These setback lines constitute the Building Envelope, or area within which the house is to be located. Setback requirements are subject to public utility easements, drainage easements, landscape easements depicted on the Master Plan, and rights-of-way. All lots at Legacy Lakes that share a boundary with the golf course exhibit an undisturbed Conservation Buffer beginning at the rear property line and extending thirty feet (30') into the property.

The exterior walls of the residence and/or garage shall be placed within the Building Envelope and not exceed the boundaries designated by the setback lines of the particular lot type. Front porches, stoops, patios, terraces, and decks must also be contained within the Building Envelope.

The Legacy Lakes community offers five lot types in addition to their townhouse homes, providing for a variety of home sizes. These lot types and their identifying characteristics are detailed on the pages that follow. The diagrams are presented as a general guide and are not meant to represent the form and arrangement of actual lots which vary greatly according to the natural features of the landscape and locations of roadways and neighborhood amenities.

100' Wide Homesites

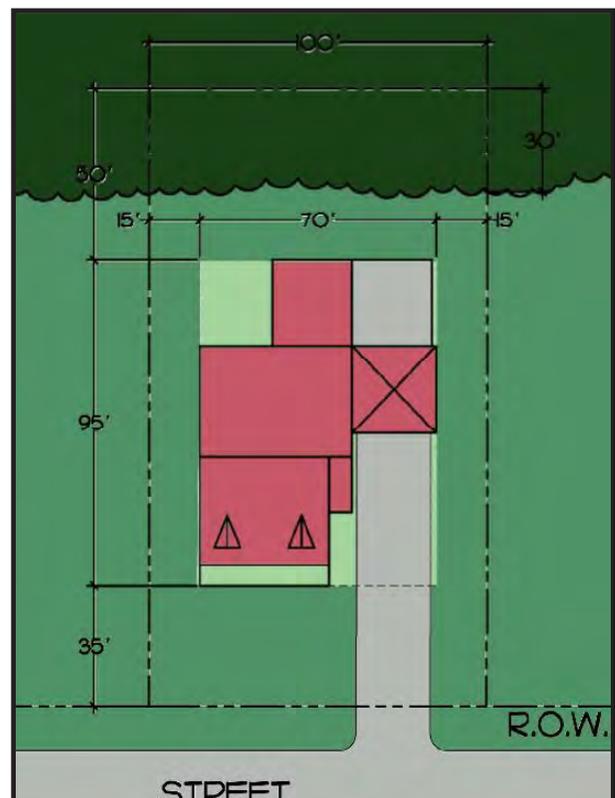
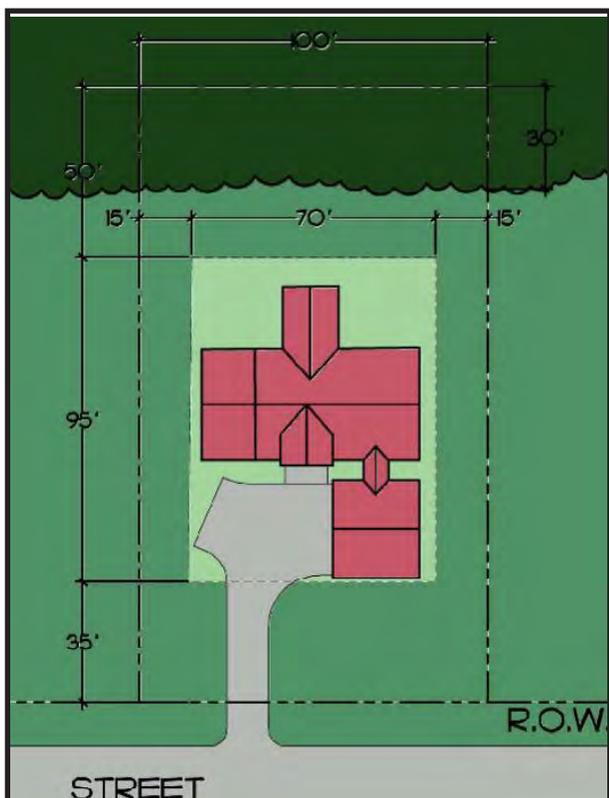
Average Building Envelope = 6,650 sq. ft.

Minimum allowed heated square footage of residence = 2,350

Setbacks/Restrictions/Building Envelopes

All building lots at Legacy Lakes honor a 50' setback along their rear property lines to limit encroachments upon the golf fairways and other community amenities. The first thirty feet of this setback as measured from the rear property line on all lots that share a boundary with the golf course is designated as an undisturbed Conservation Buffer. Lots in the 100' category also are required to maintain a 35' setback from the front property line and 15' setbacks along side property lines. The lot diagrams on this and following pages are provided as graphic representations of the lot sizes and setback arrangements.

In reality, however, the 100 foot wide lot type at Legacy Lakes, not unlike other types, exhibits wide variations in form and arrangement according to the natural features and existing vegetation of the lot and locations of roadways and neighborhood amenities. Garage doors which face the street must be even or recessed from the main house front façade or porch projection.



LEGEND: Property Buffer Building Envelope Paving Residence

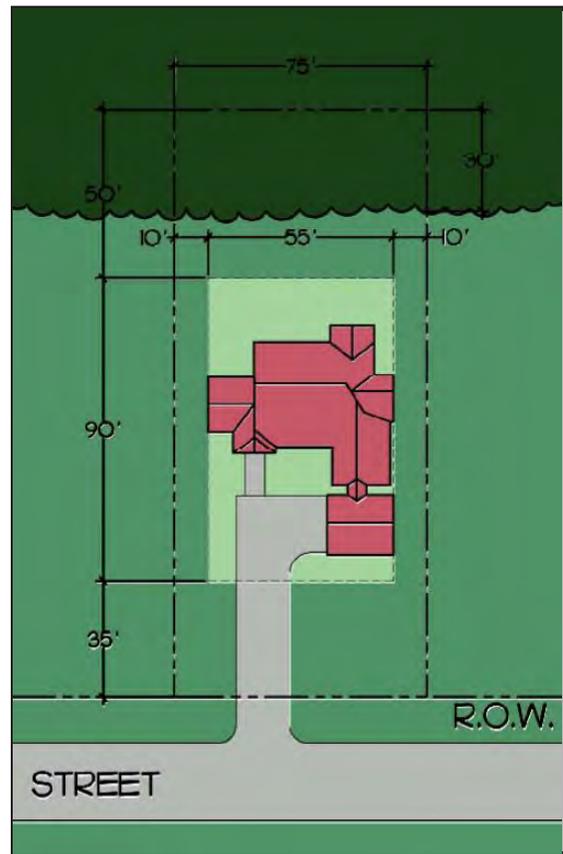
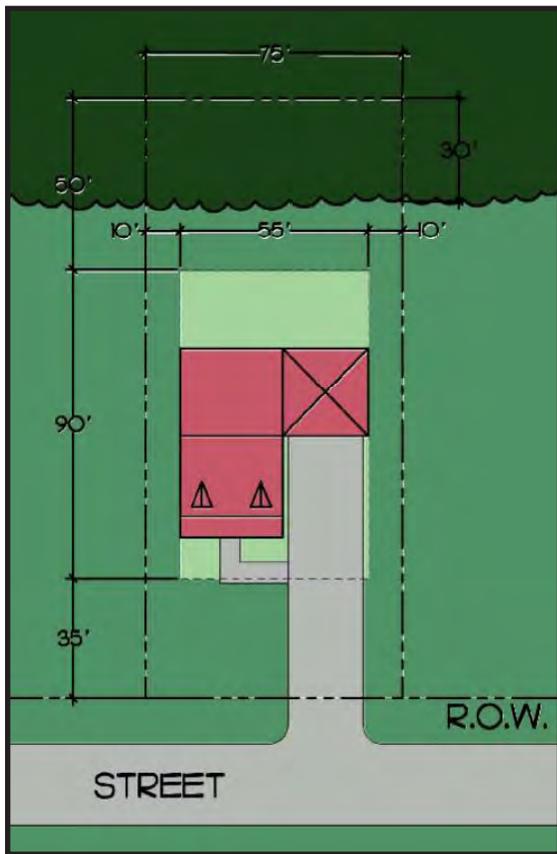
75' Wide Homesites

Average Building Envelope = 4,950 sq. ft.

Minimum allowed heated square footage of residence = 2000

Setbacks/Restrictions/Building Envelopes

All building lots at Legacy Lakes honor a 50' setback along their rear property lines to limit encroachments upon the golf fairways and other community amenities. The first thirty feet of this setback as measured from the rear property line on lots that share a boundary with the golf course is designated as an undisturbed Conservation Buffer. Lots in the 75' category also are required to maintain a 35' setback from the front property line and 10' setbacks along side property lines. The lot diagrams on this and following pages are provided as graphic representations of the lot sizes and setback arrangements. In reality, however, the 75 foot wide lot type at Legacy Lakes, not unlike other types, exhibits wide variations in form and arrangement according to the natural features and existing vegetation of the lot and locations of roadways and neighborhood amenities. Garage doors which face the street must be even or recessed from the main house front façade or porch projection.



Possible 75' Wide Lot Arrangements

- LEGEND: Property Buffer Building Envelope Paving Residence

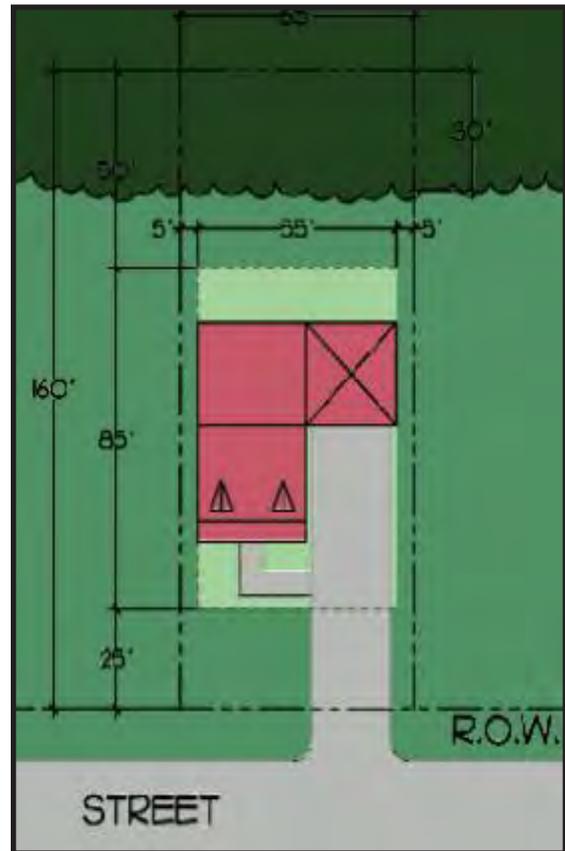
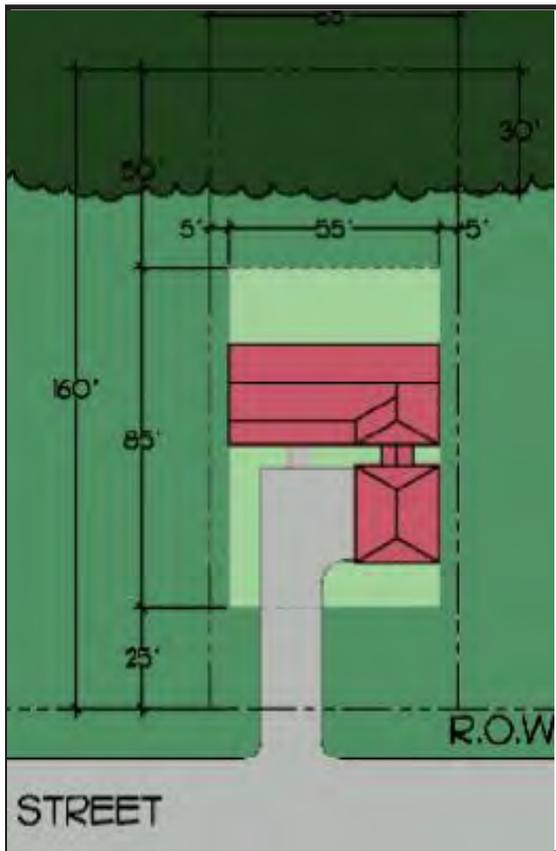
65' Wide Homesites

Average Building Envelope = 4,675 sq. ft.

Minimum allowed heated square footage of residence = 1,700

Setbacks/Restrictions/Building Envelopes

All building lots at Legacy Lakes honor a 50' setback along their rear property lines to limit encroachments upon the golf fairways and other community amenities. The first thirty feet of this setback as measured from the rear property line on lots that share a boundary with the golf course is designated as an undisturbed Conservation Buffer. Lots in the 65' category also are required to maintain a 25' setback from the front property line and 5' setbacks along side property lines. The lot diagrams on this and following pages are provided as graphic representations of the lot sizes and setback arrangements. In reality, however, the 65 foot wide lot type at Legacy Lakes, not unlike other types, exhibits wide variations in form and arrangement according to the natural features and existing vegetation of the lot and locations of roadways and neighborhood amenities. Garage doors which face the street must be even or recessed from the main house front façade or porch projection.



Possible 65' Wide Lot Arrangements

LEGEND: Property Buffer Building Envelope Paving Residence

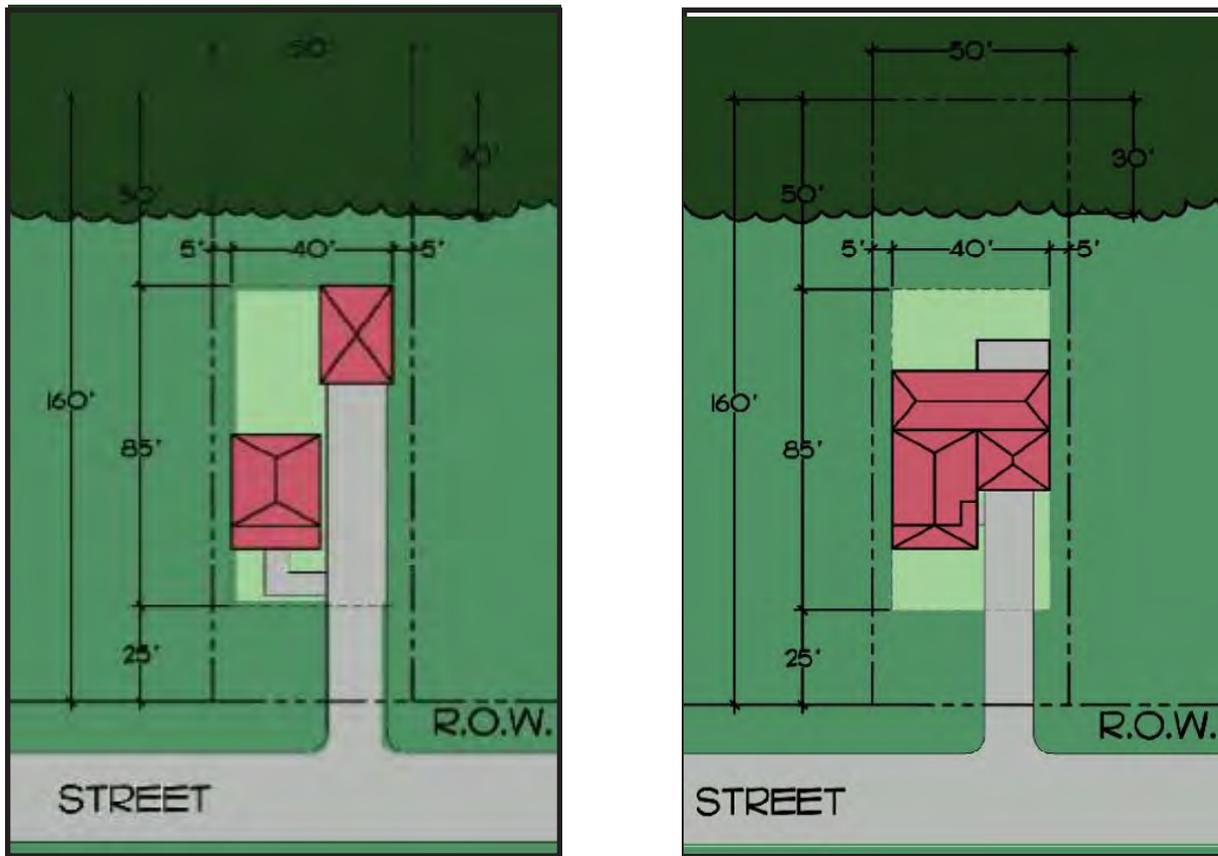
50' Wide Homesites

Average Building Envelope = 3,400 sq. ft.

Minimum allowed heated square footage of residence = 1,400

Setbacks/Restrictions/Building Envelopes

All building lots at Legacy Lakes honor a 50' setback along their rear property lines to limit encroachments upon the golf fairways and other community amenities. The first thirty feet of this setback as measured from the rear property line on lots that share a boundary with the golf course is designated as an undisturbed Conservation Buffer. Legacy Lakes' 50' wide homesites allow for a wide range of home plans in a traditional neighborhood arrangement. The setbacks for the 50 foot lots are 25' along the front, 5' at each side, and 50' at the rear property line, allowing for front facades and porches to have a more intimate relationship with the streets and community sidewalks.



Possible 50' Wide Lot Arrangements

LEGEND: Property Buffer Building Envelope Paving Residence

Landscape Standards

Landscaping is an essential element of design at Legacy Lakes. Preservation of existing vegetation in addition to the introduction of plants native to the North Carolina Piedmont and Sandhills areas must be considered in establishing the landscape design. Owners shall comply with all Town of Aberdeen ordinances which establish landscape buffers and landscape easements. No native pine trees may be removed without the review and approval of the ARC.

To ensure that the overall beauty of the community is preserved and enhanced, the ARC has the authority to approve or disapprove Landscape Plans for individual residences. All Landscape Plans are required to show adjacent site conditions including cart paths, golf fairways/greens, residential drives, homes, etc., and indicate proposed landscape treatment related to these elements. Views from the roadways and walkways toward a landscaped area should complement the appearance of the existing natural vegetation.

All areas disturbed by grading or construction activity shall be landscaped with turf, groundcover or shrub beds. Mulched beds without landscape material or existing trees are not considered to be acceptable follow up treatments for disturbed areas.

Automatic irrigation systems are highly recommended in the Sandhills region and are required on all 100' wide Estate Lots. All Irrigation Plans must be submitted to the ARC for review prior to installation and must meet any permitting or other requirements of the Town of Aberdeen. Trenching for irrigation lines should be located beyond the root zones of existing trees to avoid root damage and loss of specimen trees. Drip irrigation is encouraged in landscape beds, sprayheads are permitted in lawn areas.

All disturbed areas shall be finish graded to provide smooth and even grades.

All construction debris and material shall be removed from the site immediately following the end of the construction phase.

Cleanup of natural areas with heavy motorized equipment is prohibited to avoid root damage and compaction.

Natural landscaped areas are encouraged. All natural areas must be kept free of trash, weeds, debris, and dead limbs and vegetation. All edges of natural areas must be mulched and/or landscaped.

Drainage of the Unit must conform to all Town of Aberdeen requirements. There shall be no interference with the established drainage pattern over any property except as approved in writing by the Reviewer. Owners may make minor drainage modifications to their Units provided that they do not alter the established drainage pattern. The routing of all underground piping as it relates to gutter and downspout locations on the primary residence and any accessory building must be identified on the Site Plan submitted for review.

Buffer Requirement

All lots at Legacy Lakes respect a 30' Conservation Buffer treatment along the rear property line of lots that share a boundary with the golf course. The reasoning for this requirement is two-fold: to place a high priority on the privacy of the residents and to limit any negative impacts on the public recreation amenities offered in the development. Many of the residential lots at Legacy Lakes share their rear property lines with the golf course, and in some cases, with the lakes. Maintaining a natural "edge" to these areas is integral to the community's ability to integrate the neighborhood with the extraordinary features offered by the landscape: gently rolling terrain frequently interrupted by pockets of indigenous tree cover and small lakes or ponds, and the golf course. The required buffer will protect both the property owners and the users of the community's recreation spaces from potential visual and noise disturbances.

Specific requirements with respect to the 30' rear conservation buffer are as follows:

1. No trees greater than five (5) inch caliper may be removed from the Conservation Buffer area. Ornamental trees such as dogwoods and redbuds must remain. Underbrush may be removed (by hand clearing only) to facilitate views.
2. No fences are permitted.

Grass Areas

All lawn areas that are over ten percent (10%) slope must be sodded and staked to ensure that the sod is stable.

Plant Massing

Simple plantings with a limited variety of plant materials should be used to create a well-integrated landscape.

Generally, trees should be planted in masses of one type per mass and with a minimum of three trees per mass whenever possible. The larger of the plants should always be placed to the rear of the grouping, creating a layered effect. This technique of layering should be used with trees, shrubs, and groundcovers.

Generally, shrubs and groundcovers should be planted in masses of two types per mass and in sufficient numbers to create beds or "drifts" of plants.

Single-row foundation planting is not allowed.

Plant Selection Criteria

Plant foliage texture and flower colors should be chosen for a good fit within the existing landscape found within each building homesite. All plants' mature height and spread must be a consideration in regards to their placement within the site. As a general rule, all vines must be planted as to grow along a trellis, arbor, pergola, or gazebo. All vines must be placed as not to grow within a reasonable time on existing trees or any vegetation that has been marked as protected.

Shrubs and Hedges

Proposed shrubs should blend with the existing native vegetation and recently planted shrubs in the community. Generally, shrubs and groundcovers should be planted in masses of at least two different types per mass and in sufficient numbers to create clumps or drifts of plants.

Mulch

All shrub and groundcover areas with the exception of groundcover beds shall be mulched with a 2-inch to 3-inch layer of shredded bark, pine straw or pine bark nuggets. Consistency of mulch beds is encouraged and mixtures of mulch types should not be used. No other mulch material will be permitted. Mulch material must be compatible with the associated existing tree types (i.e., pine straw is to be used if the predominant existing trees of the lot are pines).

Building Edges and Foundation Planting

All building edges shall have planting beds of shrubs and/or groundcover.

Shrubs should be used to complement architectural features and not obstruct views from windows. All building foundations should have at least two rows of shrubs (or one row of shrubs and at least a 2-foot-wide planting of groundcover). The placement of small trees along the building's foundation is also acceptable. The location and choice of plants should complement the architectural features of every building. Such plants can only partially obstruct views from windows.

Large blank or long walls without windows need to have plants grouped in clusters and masses in order to minimize the effect of the wall and to provide a better scale with the surroundings.

All HVAC equipment should be screened from the street with evergreen landscaping or a fence or wall with a height greater than the equipment. Landscaping should not be planted closer than 3 feet from the HVAC unit to allow for proper operation on the equipment.

Street Trees

Street trees are required to be planted within the right-of-way by the owner. Trees shall be located either along the street edge or in the planting strip between the sidewalk and roadway. These trees are to be a minimum of 2 (two) inch caliper. Along sidewalks, street trees are to be maintained by the homeowner, with a minimum canopy height of seven (7) feet measured from the sidewalk, in order to maintain a clear walkway. Plant species are to be selected from the three options provided below.

- Autumn Blaze Maple (*Acer freemani* 'Autumn Blaze')
- October Glory Maple (*Acer rubrum* 'October Glory')
- Shumard Oak (*Quercus shumardii*)

Plant Sizes

Newly planted deciduous trees and conifer trees should be of a substantial height and width. All canopy-type trees shall have a minimum installed size of two (2) inch caliper width. Associated tree types shall have a minimum installed size of two (2) inches. Fruit and smaller trees shall have a minimum installed size of 1-1/2-inch caliper. All caliper dimensions shall be measured at four (4) feet off the ground.

Newly planted shrubs shall be installed at a minimum size of 24 inches overall height by 24-inch spread depending on type of shrub. Plant spacing shall be appropriate for the type of shrub.

Shrubs that are container-grown should be a minimum size of three (3) gallons. The plants should be placed at appropriate distances off center according to their growth characteristics and desired effect.

Groundcover installation size, while dependent on the size of the plant, generally is in one-gallon containers, and the plant should extend beyond the edge of the container. In any event, all groundcovers should be planted at a rate resulting in a 90 to 100 percent surface coverage within two normal years of planting.

Recommended Plant List

TREES

Scientific Name	Common Name
<i>Acer platanoides</i>	Norway Maple
<i>Acer rubrum</i> (various cultivars)	Red Maple
<i>Amelanchier arborea</i>	Serviceberry
<i>Betula nigra</i>	River Birch
<i>Carpinus betulus</i> 'Fastigiata'	European Hornbeam
<i>Carpinus caroliniana</i>	Ironwood
<i>Chamaecyparis thyoides</i> *	Atlantic White Cedar
<i>Cedrus deodora</i> *	Deodar Cedar
<i>Cercis canadensis</i>	Eastern Redbud
<i>Chionanthus virginicus</i>	White Fringetree
<i>Cladrastis lutea</i>	Yellowwood
<i>Cornus florida</i>	Flowering Dogwood
<i>Cornus kousa</i>	Kousa Dogwood
<i>Crataegus phaenopyrum</i>	Washington Hawthorn
<i>Diospyrus virginiana</i> *	Persimmon
<i>Fagus grandifolia</i>	American Beech
<i>Gleditsia triacanthos inermis</i>	Thornless Honeylocust
<i>Gordonia lasianthus</i>	Loblolly Bay
<i>Halesia carolina</i>	Carolina Silverbell

* = Recommended for buffer areas only

TREES ((Cont.))

Scientific name	common name
<i>Ilex verticillata</i>	Winterberry
<i>Ilex vomitoria</i>	Yaupon Holly
<i>Juniperus virginiana</i>	Eastern Red Cedar
<i>Lagerstroemia indica</i> (various cultivars)	Crape Myrtle
<i>Liquidambar styraciflua</i> 'Rotundiloba'	Sweetgum
<i>Magnolia grandiflora</i> (various cultivars)	Southern Magnolia
<i>Magnolia stellata</i>	Star Magnolia
<i>Magnolia virginiana</i>	Sweetbay Magnolia
<i>Magnolia x soulangiana</i>	Saucer Magnolia
<i>Malus hybrida</i> 'Zumi'	Flowering Crabapple
<i>Nyssa sylvatica</i>	Blackgum
<i>Osmanthus americanus</i>	Devilwood
<i>Oxydendrum arboreum</i>	Sourwood
<i>Pinus echinata</i>	Shortleaf Pine
<i>Pinus palustris</i>	Longleaf Pine
<i>Pinus serotina</i>	Pond Pine
<i>Pinus taeda</i>	Loblolly Pine
<i>Platanus occidentalis</i>	Sycamore
<i>Prunus serrulata</i>	Flowering Cherry

* = Recommended for buffer areas only

TREES (Cont.)

Scientific name	common name
<i>Prunus subhirtella pendula</i>	Weeping Cherry
<i>Quercus alba</i>	White Oak
<i>Quercus coccinea</i>	Scarlet Oak
<i>Quercus falcata</i>	Southern Red Oak
<i>Quercus laurifolia</i>	Laurel Oak
<i>Quercus nigra</i>	Water Oak
<i>Quercus pagoda</i>	Cherrybark Oak
<i>Quercus phellos</i>	Willow Oak
<i>Quercus rubra</i>	Red Oak
<i>Quercus stellata</i>	Post Oak
<i>Quercus velutina</i>	Black Oak
<i>Quercus virginiana</i>	Live Oak
<i>Robinia pseudoacacia</i>	Black Locust
<i>Taxodium disticum</i>	Bald Cypress
<i>Tilia americana</i>	American Linden
<i>Tilia cordata</i>	Littleleaf Linden
<i>Tsuga canadensis</i>	Canadian Hemlock
<i>Vitex agnus-castus</i>	Chaste Tree
<i>Zelkova serrata</i>	Japanese Zelkova

* = Recommended for buffer areas only

Shrubs

Scientific name	common name
<i>Abelia x grandiflora</i>	Glossy Abelia
<i>Abelia x grandiflora</i> 'Edward Goucher	Dwarf Glossy Abelia
<i>Abelia x grandiflora</i> 'Little Richard'	Little Richard Abelia
<i>Azalea hybrida</i> (various cultivars)	Hybrid Azalea
<i>Azalea indica</i> (various cultivars)	Indian Azalea
<i>Berberis julianae</i>	Wintergreen Barberry
<i>Berberis thunbergii</i>	Japanese Barberry
<i>Buddleia davidii</i>	Butterfly-Bush
<i>Buxus microphylla</i>	Japanese Boxwood
<i>Callicarpa dichotoma</i>	Beautyberry
<i>Camellia japonica</i> (various cultivars)	Camellia
<i>Camellia sasanqua</i> (various cultivars)	Sasanqua Camellia
<i>Chamaecyparis obtusa</i> 'Nana Gracilis'	Dwarf Hinoki Cypress
<i>Chamaecyparis pisifera</i> "Filifera Aurea"	Gold Thread Chamaecyparis
<i>Clethra alnifolia</i> (various cultivars)	Summersweet
<i>Daphne odora</i>	Winter Daphne
<i>Euonymus alatus</i> 'Rudy Haag'	Winged Euonymus
<i>Forsythia x intermedia</i>	Forsythia
<i>Hamamelis virginiana</i>	Witch Hazel

* = Recommended for buffer areas only

Shrubs (cont.)

Scientific name	common name
<i>Gardenia jasminoides</i>	Gardenia
<i>Gardenia jasminoides</i> 'Radicans'	Dwarf Gardenia
<i>Hydrangea macrophylla</i>	Bigleaf Hydrangea
<i>Hydrangea paniculata</i>	PeeGee Hydrangea
<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea
<i>Ilex cornuta</i> 'Burfordii'	Burford Holly
<i>Ilex cornuta</i> 'Burfordii Nana'	Dwarf Burford Holly
<i>Ilex cornuta</i> 'Carissa'	Carissa Holly
<i>Ilex cornuta</i> 'Rotunda'	Dwarf Horned Holly
<i>Ilex crenata</i> 'Compacta'	Compacta Japanese Holly
<i>Ilex crenata</i> 'Helleri'	Heller Japanese Holly
<i>Ilex crenata</i> 'Soft Touch'	Soft Touch Japanese Holly
<i>Ilex crenata</i> 'Sky Pencil'	Sky Pencil Japanese Holly
<i>Ilex crenata</i> 'Steads Upright'	Steed's Japanese Holly
<i>Ilex glabra</i>	Inkberry
<i>Ilex glabra</i> 'Compacta'	Dwarf Inkberry
<i>Ilex vomitoria</i> 'Nana'	Dwarf Yaupon Holly
<i>Ilex vomitoria</i> 'Bordeaux'	Bordeaux Holly
<i>Ilex</i> x 'Emily Bruner	Emily Bruner

* = Recommended for buffer areas only

SHRUBS (Cont.)

Scientific name	common name
<i>Ilex</i> x 'Nellie R. Stevens'	Nellie Stevens Holly
<i>Ilex</i> x 'Savannah'	Savannah Holly
<i>Itea virginica</i>	Virginia Sweetspire
<i>Juniperus conferta</i> (various cultivars)	Shore Juniper
<i>Juniperus davurica</i> 'Expansa'	Parson's Juniper
<i>Juniperus horizontalis</i> (various cultivars)	Creeping Juniper
<i>Kalmia latifolia</i>	Mountain Laurel
<i>Leucothoe axillaris</i>	Coastal Leucothoe
<i>Leucothoe fontanesian</i> 'Girard's Rainbow'	Drooping Leucothoe
<i>Loropetalum chinense</i>	Loropetalum
<i>Mahonia bealei</i>	Leatherleaf Mahonia
<i>Myrica cerifera</i>	Wax Myrtle
<i>Nandina domestica</i>	Nandina
<i>Osmanthus</i> x <i>fortunei</i>	Fortune Tea Olive
<i>Pieris japonica</i>	Japanese Pieris
<i>Philadelphus coronarius</i>	Sweet Mockorange
<i>Prunus laurocerasus</i> 'Zabeliana'	Zabel Laurel
<i>Pyracantha coccinea</i>	Scarlet Firethorn
<i>Raphiolepis indica</i>	India Hawthorn

* = Recommended for buffer areas only

Shrubs (CONT.)

Scientific name	common name
<i>Raphiolepis umbellata</i>	India Hawthorn
<i>Rhododendron atlanticum</i>	Dwarf Azalea
<i>Rhododendron hybrida</i>	Hybrid Rhododendron
<i>Rhododendron nudiflorus</i>	Pinxter Azalea
<i>Rhododendron viscosum</i>	Swamp Azalea
<i>Thuja occidentalis</i> (various cultivars)	Arborvitae
<i>Vaccinium corymbosum</i>	Highbush Blueberry
<i>Viburnum macrocephalum</i> 'Sterile'	Chinese Snowball
<i>Viburnum plicatum tomentosum</i>	Doublefile Viburnum

* = Recommended for buffer areas only

Vines

Scientific name	common name
<i>Clematis hybrida</i>	Clematis
<i>Clematis maximowicziana</i>	Sweet Autumn Clematis
<i>Clematis virginiana</i>	Virgin's Bower
<i>Ficus pumila</i>	Climbing Fig
<i>Gelsemium sempervirens</i>	Carolina Jessamine
<i>Hedera helix</i>	English Ivy
<i>Hydrangea anomala petiolaris</i>	Climbing Hydrangea
<i>Lonicera sempervirens</i>	Trumpet Honeysuckle
<i>Rosa hybrida</i>	Climbing Rose
<i>Wisteria floribunda</i>	Japanese Wisteria

Groundcovers

Scientific name	common name
<i>Aspidistra elatior</i>	Cast-Iron Plant
<i>Dryopteris erythrosora</i>	Autumn Fern
<i>Helleborus orientalis</i>	Lenten Rose
<i>Hemerocallis hybrida</i>	Daylily Hybrid
<i>Hosta lancifolia</i>	Hosta
<i>Liriope muscarii</i> 'Big Blue'	Liriope
<i>Liriope muscarii</i> "Variegata"	Variegated Liriope
<i>Matteuccia struthiopteris</i>	Ostrich Fern
<i>Ophiopogon japonicus</i>	Mondo Grass
<i>Osmunda cinnamomea</i>	Cinnamon Fern
<i>Polystichum acrostichoides</i>	Christmas Fern
<i>Vinca major</i> (various cultivars)	Periwinkle

Tree Preservation

One of the primary goals is to minimize the disturbance of existing ecological systems, existing views and to preserve existing vegetation (trees, shrubs, and groundcover). Owners and builders may not remove trees prior to final approval of plans by the ARC. Trees may be cut after such approval only for clearing the driveways and building pads. All other tree cutting must be approved by the ARC.

Note: Tree and Natural Area preservation is of a high priority. The siting of all site improvements must take account for keeping these natural areas undisturbed.

The following measures will be undertaken to ensure preservation of existing vegetation:

1. Within the 30' Conservation Buffer Area on lots that share boundary with the golf course, no trees having a caliper measurement 5 (five) inches or greater may be removed by the owner unless approved by the ARC and Golf Course Owner.
2. No existing trees twelve (12) inches in diameter or more shall be removed from the public right-of-way or balance of the lot.
3. Final plans must clearly delineate trees to be preserved and a limit of disturbance line. This should be cross-referenced with all aspects of the development of such utilities, grading, layout, etc.
4. The limit of disturbance line should be protected with fencing, conspicuous and high enough to be seen by equipment operators. Fencing must be installed far enough from the tree to prevent compaction and puddling over the root system and large enough to include the area within the dripline. No grading shall take place within the dripline of trees to be preserved. Sensitive root systems fall within this area and must be protected.
5. No equipment storage or parking will be allowed within these preservation areas. Weed and debris removal within these areas must be done with hand tools.

6. Tree protection fencing must be installed prior to any clearing or construction and must be maintained in good condition until construction is completed.
7. It is the builder's responsibility to enforce these standards with all sub-contractors and utility companies throughout the entire construction process. If any disturbance occurs within areas designated to be preserved, these areas must be re-vegetated with large shade trees (minimum 5" caliper at a rate of one tree per every 300 s.f. disturbed) or native pines (minimum two 8'-10' trees.)

Parking Driveways and Walkways

Garages for at least two cars are encouraged along with a recommended two uncovered spaces for parking. Curved or offset driveways which prevent a direct view into the garage are preferable. Front-load projecting garages are prohibited. In cases where the design includes a front-loaded garage, the garage shall be recessed or even with the main house front façade. This includes the projection and roof line of the front porch. (See page 20 for diagram).

No curbside parking areas may be created by extending any portion of the street pavement.

All driveways are to be concrete, asphalt, brick, stone, interlocking concrete pavers, gravel or other paver material as approved. All colors and materials are to be submitted to and approved by the ARC.

Driveway aprons shall be a minimum of 30 feet from the face of the garage door.

All driveways and walks must be dimensioned and detailed on the Site Plan. Dimensioning must include all radii points. All curved drives must be constructed of true arcs. Short tangents or excessively curved driveways are not permitted.

Where possible, access to corner lots shall be from the least-traveled street.

All driveway cuts shall be in conformance with local standards and approved by the ARC.

Every driveway shall provide positive drainage away from the house and garage.

ARC approval is required before extending or expanding any driveway.

Front walks shall be a minimum width of 4 feet with 5 feet preferred. The use of paving material such as brick, concrete pavers, stone or concrete is recommended. Entry walk surface materials should be the same or compatible with the driveway or structure materials.

Sidewalks are required to be installed as indicated on the approved construction documents on file with the Town of Aberdeen.

Grading

Owners shall not grade their property so as to interfere with the established drainage pattern over any property except as approved in writing by the ARC. Owners should work with the natural contours and seek solutions that minimize the impact of grading with respect to major alterations of existing grades.

Paving

The Owner shall secure ARC approval prior to any paving regardless of material or purpose. Suitable paving materials for walkways, patios, terraces, and similar site elements include brick, stone, concrete pavers, poured concrete, or cobblestone. It is preferred that paving units used in walkways be mortared as opposed to dry-laid or set in sand. Paving units used for patios or terraces may be dry-laid or mortared. Poured concrete may be used for walkways and can be improved with the addition of a course of brick or other paving units as an outer boundary. Concrete may be tinted, but stamped concrete intended to mimic brick or other stone work is strongly discouraged. Decks should be painted to complement the exterior colors of the residence and should employ railings for safety and lattice screening between the deck floor and the ground level for aesthetics.

Underground Installations

Owners shall seek approval for any proposed underground installation.

Water Systems

Installation of individual water supply or water softener systems is prohibited without ARC approval. Wells, except those drilled by the Declarant for the purpose of providing water service to Legacy Lakes, require approval from the ARC.

Mailboxes

The design of all mailboxes in Legacy Lakes shall be selected and approved by the ARC and have a common design throughout the community. Mailbox covers and decorations are prohibited.

Newspaper Boxes

The standard community newspaper box will be installed by the homeowner's association and billed to the homeowner.

Flagpoles and Miscellaneous Structures

No freestanding flagpoles, billboards and advertising signs and structures are permitted. Flags should be properly mounted on a house.

Garbage and Trash Containers

All trash containers must be units that conform to standards and are to be kept within a garage or in a screened or landscaped area. They must not be visible from the street and must be placed in the backyard or side yard of all homes. If trash cans will be located in the side yard, they must be screened from street view with the use of evergreen plant material maintained at a minimum of four (4) feet in height. Any method of screening other than landscaping must be approved by the ARC and conform to the fencing standards in these guidelines.

Signs

The display of trade signs is prohibited.

No signs shall be erected on the roof of any structure.

Signs are not permitted to be attached to telephone poles, posts, benches, boards, or other items within the Common Areas.

One security sign may be permitted in the front yard located either adjacent to the driveway or in close proximity to the front entrance of the main dwelling.

One temporary sign per Unit, which design shall be determined by the ARC and utilized consistently throughout the community, that advertises property for sale or lease, may be installed on a Unit without ARC approval. Such sign must stand no more than four feet high, have dimensions of no more than one foot by one and a half feet, and must be conservative in color and style. Temporary signs may be displayed only while the Unit is for sale or lease and must be removed when the property is no longer for sale or lease.

The only temporary signs allowed are signs advertising property for sale or lease as described above, and election signs. Election signs are permitted only during elections and must be removed within 7 days of election. Garage sale signs are permitted for each residence as part of a scheduled community garage sale event.

House Numbers

All homes must display the house number in a visible location. House numbers must be displayed on a front column, on the porch beam or near the doorway of the home. All numbers must be black and a minimum of 3 (three) inches and maximum of 5 (five) inches in height.

Utilities/Vents/Mechanical Equipment

All utility feeds, meters and vents must be painted to blend with adjacent surfaces (i.e., landscape green or brown, weathered shingle gray, or foundation wall color). No exterior wires are allowed. All feeds to meter boxes must be interior to the house, and all boxes must be screened.

All above-ground utilities and mechanical equipment (i.e., transformers, phone boxes, gas and electric meters) must be screened from street view with evergreen plant material of a height equal to or greater than the height of the equipment. Spacing must provide effective visual screening upon installation. Screening must surround the utility structure 360 degrees except when abutting or within 2 feet of the home. Above-ground fuel storage tanks are prohibited.

All compressors for central air-conditioning units should be completely screened by landscaping and/or architectural treatment so that they are not visible from the street or any adjacent properties and must be sited so as not to cause a nuisance to neighbors. If landscape screening is used, all heating and air-conditioning units shall be screened and enclosed with evergreen shrubs with a mature height of 4 to 6 feet, and should have a minimum height of 3 feet at time of installation. The shrubs should be planted to allow for a minimum of 3 feet of clearance from the unit(s) they are intended to screen. The screened units are not to be seen from the street. Thru-wall or window air-conditioning units are not permitted.

Swimming Pools, Hot Tubs, and Spas

No swimming pools are permitted.

All proposed pools, Jacuzzis, spas and hot tubs must be submitted to the ARC for review and action prior to construction. Submittal should include the hot tub, and/or spa, deck and fencing design and layout, materials and equipment. Landscape screening and enhancement of hot tub and spa areas will be required. Owners may be required to install safety features such as locks or covers for these items when not in use.

Hot tubs and spas and their related pumps, filters, and equipment must be screened from street and adjacent property view and located where they will not cause a nuisance to neighbors. Any hot tub, Jacuzzi, or spa shall be an integral part of the deck or patio area and/or the rear yard landscaping.

Recreation Items, Accessory Structures, and Decorative Objects

Accessory structures, such as playhouses or doghouses, are prohibited on all lots sharing a boundary with the golf course or a lake. These structures shall be permitted only with specific written approval of the ARC on lots with no golf or lake boundaries. Storage sheds are not permitted as accessory structures.

Reviewer approval is not required for the rear yard installation of any birdbath that has a height of three feet or less, including any pedestal. Placement in any front yard is prohibited.

No Reviewer approval is required for one rear or side yard installation of any birdhouse or birdfeeder. Such birdhouse or birdfeeder shall measure no more than one foot by two feet.

Decorative items including, but not limited to, statues, lawn ornaments, figurines and fountains, greater than twelve (12) inches in height are not permitted in the front or side yards that may be visible from the street. Planters, which contain live plants, are not considered decorative items. Outdoor furniture and benches must be kept within the porch, deck or patio area when not in use. ARC approval is not required for the rear-yard installation of any statue, which, including any pedestal stands no more than five feet tall.

Temporary structures, other than those used during the initial construction of a residence, including without limitation, shacks, are prohibited. ARC approval is required for tents other than camping tents that are used for occasional overnight sleeping by children and are left standing for no longer than 72 hours.

Carports are prohibited.

Clotheslines are not permitted.

Compost containers and accumulation of compost is prohibited.

Animal kennels are prohibited. No animal structure shall provide shelter for more than two dogs over six months of age.

Permanent basketball goals may be permitted with the approval of the ARC. Such items should be pole-mounted and located away from the street and should not display characteristics (i.e. bright colors, advertising, or graffiti) that may be visually obtrusive to the community. Acceptable characteristics include clear, white or gray backboards mounted on a white, gray or black pole made of metal. Permanent basketball goals may only be mounted adjacent to the driveway so as to face the home's driveway. House-mounted backboards or mounted locations which face the street are not permitted.

Ten-foot portable basketball goals may be permitted provided such goals are stored out of view when not in use. The Owner shall exercise consideration toward neighbors; any such equipment shall be set back at least 10 feet from rear and side property lines to avoid disturbance of neighbors and shall not obstruct neighbor's views of open spaces.

Play equipment is prohibited on lots sharing a boundary with the golf course or lakes. Play equipment shall be permitted with adequate screening and locations approved by the ARC on lots with no golf course or lake borders. All play equipment shall be restricted to back yards. Wood play equipment is recommended; brightly colored equipment is prohibited.

Playhouses must be approved if measuring more than 20 square feet, is more than 8 feet high from peak to ground, or is constructed on a concrete slab or footing.

Treehouses are prohibited.

Recreational Vehicles

Lawn equipment and recreational vehicles, such as golf carts, boats, motor homes and campers, may only be stored on site a maximum of 24 hours unless fully garaged.

Antennas and Communication Dishes

Section 207 of the Telecommunications Act (hereinafter the “Rule”), permits certain antennas. The Rule allows community associations to enforce restrictions that do not impair the installation, maintenance or use of these types of antennas, as well as restrictions needed for safety. Therefore, to the extent feasible, antennas should not be visible from the street and should be placed in the following locations:

1. Mounted directly on the rear of the house; mounted on the rear roof plane; or mounted on the backside of a chimney. Homeowners do not need to submit an application for a satellite dish smaller than 19” to the ARC if locating their dish in one of these three locations.
2. Mounted directly on the side of the house but not closer to the front of the house than 50% of the home’s depth; mounted on a roof plane facing the side of the house but not closer to the front of the house than 50% of the home’s depth; or mounted on the ground within close proximity to the side of the house but not closer to the front of the house than 50% of the home’s depth. If the dish is mounted on the ground, it must be placed as low to the ground as is possible without interfering with reception. Satellite dish mounting options are described below:
 - Attached to the home on the rear or side.
 - Pole mounted in the rear of the home.
 - Pole mounted in the side yard of the home with evergreen screening.
 - Must not be mounted in the front of the home or on the street side of corner lots.

An application indicating the requested location shall be submitted to the **ARC for approval prior to locating a satellite dish in any of these three locations.**

As much as is possible, the visibility of antennas mounted on the ground within close proximity to the side of the home should be minimized using one or both of the following methods:

1. Screen the antenna from view from the street with natural plantings, trees and shrubs; to the extent they do not compromise the signal reception.
2. Use antennas with a dark or muted color, or paint the antenna a muted color to blend with the background surface or with the surrounding landscape.

If no clear signal is obtained in any of the above locations, the homeowner shall provide the ARC with a written statement from the installer stating no reception is available from any of the above locations. Upon approval from the ARC, the homeowner may then install the antenna in an alternate location as deemed necessary for reception but while maintaining the standard aesthetics.

Exterior Lighting

Exterior lighting requires Reviewer approval.

Walls and Fences

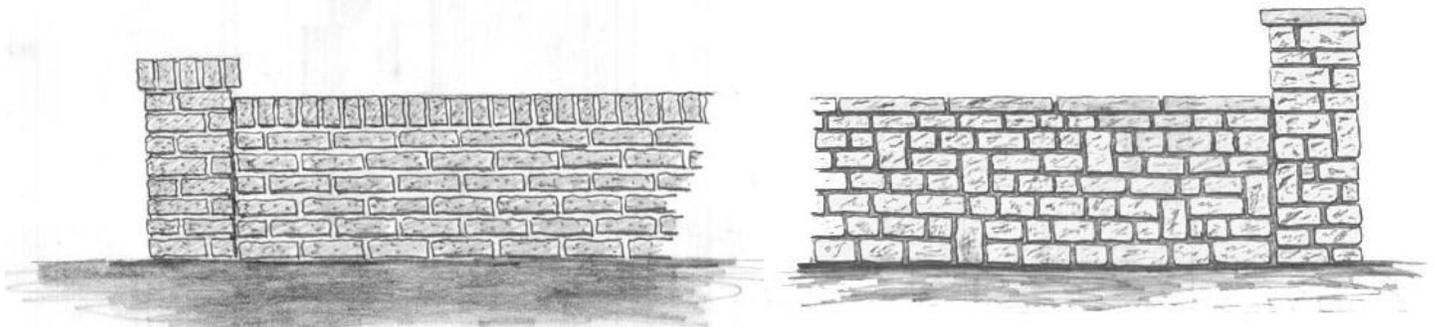
Chain-link fences or vinyl fences will not be considered for approval in any instance except as a temporary measure during construction. Fences may not be located within the Conservation Buffer (as herein defined) or along the rear property line on lots adjoining the golf course or lakes. Additionally, side property line fences along golf course or lake frontage are not permitted except under special conditions and only with the express permission of the ARC. Fences are not permitted on berms, unless otherwise approved by the ARC. All fence plans, designs, colors, materials, and locations must be submitted and approved by the ARC prior to any construction. Any fences or walls, whether constructed by the Owner or a Builder, shall be well repaired and maintained consistent with the Community-Wide Standard. In the event a fence or wall is damaged or destroyed, the Owner shall repair or recondition the same at the Owner's expense. Applicants shall provide for a space between the bottom of the fence and the ground elevation so as not to block drainage patterns. At least 30% of the fence shall be open space.

All retaining walls require approval by the ARC. Such walls shall be properly anchored to withstand overturning forces. Stone walls shall be made thicker at the bottom than at the top to achieve stability. Owner shall have all retaining walls approved with the appropriate local authority to ensure they meet applicable code(s). Neither the Declarant nor the Reviewer shall be responsible for ensuring the structural integrity or soundness of any approved retaining wall.

The following examples illustrate the recommended fence and wall types.

Stone and Masonry Walls

Masonry walls are frequently used, particularly where slopes necessitate the use of retaining structures. In traditional building practices, materials for walls are typically stone claimed from the site or unpainted brick reflecting the local soil characteristics. Patterned brick work is encouraged, as well as is recycled brick if it maintains a consistency in its quality. Brick walls should include a cap of brick or pre-cast concrete. Mortared field stone is an attractive alternative, and stacked stone walls are also acceptable. Interlocking masonry units are not allowed in front yards, and when used elsewhere on the lot are encouraged to depict a rough, faceted face and overhanging cap.



Metal Fences

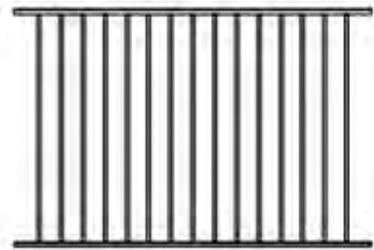
Wrought iron or painted heavy gauge steel fences of a relatively simple design are acceptable options. Black aluminum fences are also allowed. Metal fences may be used in conjunction with masonry as expressed in columns joining fence panels or as a low brick or stone wall topped with the metal fence. In either case, the maximum height allowed shall be five (5) feet.



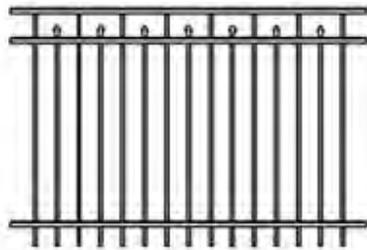
Flat Top



Flat Top with Flush Bottom



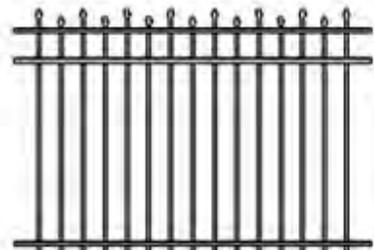
2-Rail Pool Code Flush Bottom



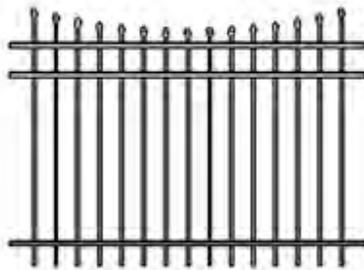
Flat Top with Alternating
Pressed Point Picket



Spear Top



Staggered Spear Top



Concave Spear Top



Convex Spear Top

General Rules for all Legacy Lakes Contractors and Service Personnel

The following rules apply to all employees of the building contractors and service personnel while on Legacy Lakes premises. Behaviors which are unbecoming of a quality operation will not be tolerated. Infractions of these rules may be cause for a fine to the owner or builder per infraction and/or the suspension of builder or builder's subcontractor from the project. Employees of contractors or subcontractors who violate these policies may be asked to leave the premises.

The ARC will perform periodic informal inspections to ensure that work is being performed in conformance with approved plans, these Design Guidelines and the Community-Wide Standard. All inspections are observations only and will not relieve the obligation to obtain inspection approvals from the Town of Aberdeen and other organizations having jurisdiction.

1. Contractors are required to keep job sites clean of all trash. All lots must have dumpsters or wooden trash boxes to collect trash, and they must be placed in a driveway or parking courtyard area. All wooden boxes must be painted dark brown. Stockpiling outside of the dumpster/box or dumping on adjacent lots or on streets will not be allowed. Dumpsters/boxes must be removed should any period of thirty (30) days pass with no construction activities at a homesite. Construction materials are to be neatly piled on site; debris and rubbish are to be contained and periodically removed; tall, unsightly weeds are to be routinely cut back; streets adjoining a construction site are to be frequently swept clean of dirt and construction trash. Trash not removed will be removed and billed to the responsible owner or contractor.
2. All contractor personnel are required to enter and leave through the designated construction entrance.
3. Any temporary toilet facilities must be placed a minimum of 20' from the street right-of-way, on the lot being improved.
4. All lots, whether required by code or not, must use silt fence to keep sediment from coming off the lot.
5. Where particularly offensive construction activities occur adjacent to a developed property or otherwise sensitive land use, the ARC may require the developer to erect a proper fence to screen that activity. The design of that fence must be approved by the ARC. Adjacent properties must also be protected from wind-born dust and debris.
6. All vacant property shall be kept neat and clean of debris and shall be well and continuously maintained in its natural condition until construction commences on the property.
7. Contractors will use only the utilities provided on the immediate site on which they are working.

8. Any damage to streets and curbs, drainage inlets, street lights, street markers, walls, etc., will be repaired by the ARC and such costs billed to the responsible owner/builder. Damages to vegetation or common area facilities caused by the Applicant, its contractors, subcontractors, agents or employees must be corrected immediately to the satisfaction of the ARC, the Declarant, and the owner of the damaged property. If the damage is not corrected, the Declarant or the Association may repair such damage and assess the costs of repair to the Applicant.
9. Washing of construction vehicles on streets will not be allowed. Any concrete delivery truck must be washed out on your construction site or off Legacy Lakes property.
10. Operators of vehicles are required to see that they do not spill any damaging materials while within Legacy Lakes and, if spillage of load occurs, operators are responsible for clean-up. Clean ups done by Legacy Lakes personnel will be billed to the responsible party. Please report any spills immediately.
11. If any telephone, cable TV, electrical or water lines are cut or damaged, it is your responsibility to report such an accident to Legacy Lakes personnel and the appropriate utility within 30 minutes.
12. All personnel working in Legacy Lakes are to ensure that they will keep all areas in which they work or travel through free of discarded materials such as lunch bags and odd materials. Objects should not be thrown out of cars and trucks. Stockpiling of any materials on adjacent lots is not permitted.
13. No on-site burning is allowed.
14. Loud radios or noise or profane language will not be allowed within the project. This is distracting and discomfoting to property owners and recreation users. Normal radio levels are acceptable. Do not mount speakers on vehicles or outside of homes under construction.
15. Work hours are from 7:00 a.m. to sunset Monday - Friday and by special permission on Saturday and Sunday. Generally, work will not be permitted on Sunday.
16. No vehicles (trucks, vans, cars, etc.) may be left in the subdivision overnight. Construction equipment may be left on the site while needed but must not be kept on the street. Parking should be of streets whenever possible.
17. ONLY bona fide workers are allowed on property. Employees may be driven to the site by another party and be picked up but the driver may not remain on property unless they are employed by the subcontractor.
18. No contractor personnel will be permitted to bring pets on the property.

Changes and Amendments to the Design Guidelines

These Design Guidelines, as they apply to the residential properties, may be amended as follows:

1. So long as Declarant has the authority per the Declaration, the Declarant may in its sole discretion, amend these Design Guidelines, notwithstanding any delegation of reviewing authority to the ARC.
2. When Declarant no longer has the authority to amend the Design Guidelines or has delegated its right to amend these Design Guidelines, these Design Guidelines, may be amended only upon approval of the Board.
3. All amendments shall become effective upon adoption by the Declarant, so long as Declarant has the authority to amend these Design Guidelines or if the Declarant no longer has such authority, upon adoption by the ARC. Such amendments shall not be retroactive so as to apply to previous work or approved work in progress.
4. In no way shall any amendment to these Design Guidelines change, alter or modify any provision of the Declaration or any Supplement.

These Design Guidelines have been prepared for use at Legacy Lakes are hereby adopted on this ____ day of _____, 20 ____.

LEGACY LAKES MASTER
PROPERTY OWNERS
ASSOCIATION, INC.

By: _____

Name: _____

Title: _____

Architectural Style Examples

The illustrations found on these two pages are provided as visual examples to assist property owners as they make decisions regarding the overall character for their homes. Homes within the Legacy Lakes community should not necessarily be limited to a particular theme or architectural period. However, it is essential that proper building scale, massing and character, and architectural details and materials be recognized throughout the community.



