



## Property Inspection Report

March 12, 2025 (9:30 AM)

031225-1  
8212 Main Street West End , NC



Prepared For:  
Shelby Dobson

Prepared By:  
Jason McNeill  
NC: 4214  
BrightSide Home Inspections, LLC



Inspector Signature

This report was prepared for the exclusive use of the client named above. This report remains the property of the inspector and/or inspection company. The report cannot be transferred or sold. Acceptance and/or use of the inspection report binds the client to the terms of the Inspection Contract.

# Table of Contents

## Legend

## Summary

## Report

### A. Exterior

#### A1. Wall Cladding

(A1-1) Main House

#### A2. Windows and Doors

(A2-1) Windows/Doors

#### A3. Decks, Porches, Stoops, and Balconies

(A3-1) Deck/Rear Steps

(A3-2) Porch

#### A4. Driveways, Patios, Walks, Retaining

(A4-1) Driveway and Front Walk

#### A5. Vegetation and Grading

(A5-1) Vegetation

### B. Structural

#### B1. Foundation

(B1-1) Main House

#### B2. Columns and Piers

(B2-1) Main House

#### B3. Floor Structure

(B3-1) Main House

#### B4. Wall Structure

(B4-1) All Interior Areas

#### B5. Ceiling Structure

(B5-1) All Accessible Attic Areas

#### B6. Roof Structure

(B6-1) Main House

### C. Roofing

#### C1. Coverings

(C1-1) Main House

#### C2. Drainage Systems

(C2-1) Gutters

### D. Plumbing

#### D1. Main Water Supply

(D1-1) Main

#### D2. Water Distribution Systems

(D2-1) All

D3. Drain, Waste, Vent Systems

(D3-1) Crawl Space

D4. Water Heating Equipment

(D4-1) Unit 1

**E. Electrical**

E1. Main Service

(E1-1) Underground

E2. Main Panel

(E2-1) Main Panel

E4. Branch Circuits, Wiring

(E4-1) Crawl Space and Main Panel

E5. Light Fixtures, Receptacles, Smoke Detectors

(E5-1) Exterior

(E5-2) Interior

**F. Heating Systems**

F1. Equipment

(F1-1) Heating Unit 1

F2. Distribution System

(F2-1) Heating Unit 1

**H. Interiors**

H1. General Rooms

(H1-1) All Rooms

H2. Kitchens

(H2-1) Kitchen

H3. Bathrooms

(H3-1) Both Bathrooms

**I. Insulation & Ventilation**

I1. General

(I1-1) Attic: All Accessible

(I1-2) Crawl Space

**J. Appliances**

J1. Appliances

(J1-1) Oven: Electric

(J1-2) Range Hood

## Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your North Carolina real estate agent or an attorney.

### A1. Exterior: Wall Cladding

#### A1-1 Main House



The exterior cladding was decayed and was failing in multiple locations, most notably on the left and rear of the home, a condition which can allow water to enter behind the cladding and into the wall cavity, resulting in further component decay and damages. A licensed general contractor is needed for comprehensive review of the exterior cladding of the home to determine the extent of defects, and to make repairs as needed.

#### (A1-1.2) Main House



All wooden fascia, soffit, and trims, and the left awning, were noted to have varying degrees of weather/age related decay. Progression of these damages may result in water penetration into underlying areas, further decay or component failure. A licensed general contractor should be consulted for further evaluation of all exterior components to determine the extent of defects, and to make repairs as needed.

#### (A1-1.3) Main House



The open wall penetration was not fully sealed at the rear left of the home. This can result in inefficiency and potential moisture/insect entry. A qualified general repair specialist should be consulted to make repairs.

## A2. Exterior: Windows and Doors

### A2-1 Windows/Doors (Location: All)



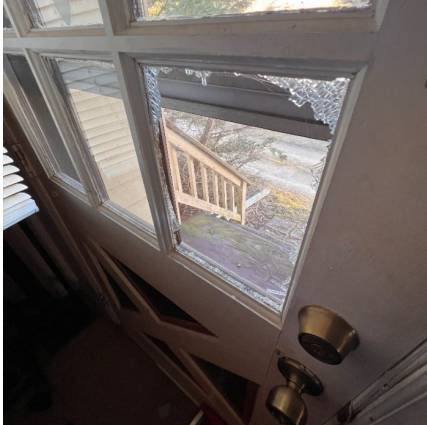
A window in the dining room was noted to have broken glass, a personal injury hazard. A glass repair specialist or licensed general contractor should be consulted to make repairs.

### (A2-1.2) Windows/Doors (Location: All)

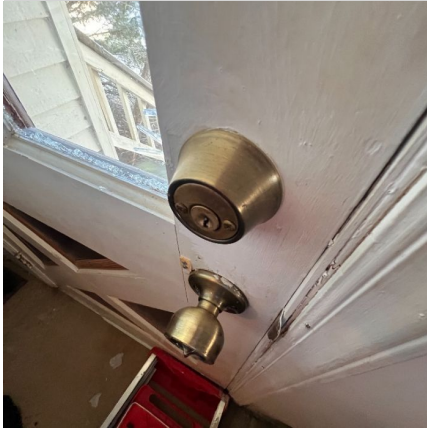


Multiple windows of the home had interior hazing, a condition often indicative of gas seal damage and related moisture entry. Gas seal damage can impair overall insulation capabilities of the window and continued moisture entry may result in further damages to glass and/or frame components. A glass or window repair specialist should be consulted to evaluate all windows of the home to determine the extent of defects, and to make repairs as needed.

### (A2-1.3) Windows/Doors (Location: All)



The front door was noted to have broken glass, a condition which may present personal injury concerns and impairs security features of the door. A window repair specialist or licensed general contractor should be consulted to make repairs needed.

**(A2-1.4) Windows/Doors** *(Location: All)*

Some exterior doors of the home have a double key deadbolt lock. This type of lock cannot be unlocked from the interior of the home without the key and is not recommended. In the event of an emergency, the key may not be available resulting in a person not being able to exit the home, presenting a personal injury concern. If this is of further concern to the buyer, a locksmith or qualified repair specialist should be consulted.

**A3. Exterior: Decks, Porches, Stoops, and Balconies****A3-1 Deck/Rear Steps** *(Location: Main House Left)*

The following concerns were noted with the deck and the rear steps by the sliding glass door -

1. Moderate to severe wood decay was noted throughout exposed wood components, stair treads and rail systems, conditions which may impair support, potentially presenting personal injury or trip hazards. Also, hand rails at the stairs were loose, a fall hazard.
2. Joists and other support or deck structure framing were inaccessible due to lattice, however, were partially viewable from the exterior front of the deck. From that position, a few joists close to the front were noted to be split. This can be the result of improper installations/improper support and related movement, or, decay. Damaged joists may result in structural movement.
3. Broken and decayed balusters may present fall hazards.
4. Stair stringers at the rear steps were noted to have areas of rot where in contact with the ground, a condition prone to movement and unsafe conditions.

A licensed general contractor should be consulted for comprehensive evaluation of the deck to determine all defects, and to make repairs as needed.

**A3. Exterior: Decks, Porches, Stoops, and Balconies****A3-2 Porch** *(Location: Main House Front)*

The front porch installations were noted to have multiple defects which presented potential fall and/or personal injury concerns, such as but not limited to -

1. Loose, damaged and improperly constructed handrails.
2. Decayed stair treads.
3. Stairs are at varying heights and/or at are greater gaits than typical. Also, stairs appeared to be too shallow.
4. The wooden porch was noted to have decay and was not flat.

A licensed general contractor should be consulted for full evaluation of all front porch components to determine the extent of defects and to make repairs as needed.

## A5. Exterior: Vegetation and Grading

### A5-1 Vegetation *(Location: All)*



Trees were in contact with exterior components, a condition prone to cladding, trim and/or roofing damage. An arborist should be consulted to remove limbs/trees safely away from the home to avoid damages.

## B1. Structural: Foundation

### B1-1 Main House



Hairline stepping cracks were noted in the foundation mortar at the front right and right of the home. These cracks appeared to be consistent with expansive drying and did not transfer to the interior of the foundation wall. Damages such as these are generally considered superficial, however, may sometimes be attributed to other underlying causes, such as improper foundation support or support damages.

These damages did appear minor/superficial, however, it is beyond the scope of a home inspection to fully determine the cause and extent of structural concerns or related defect implications. A licensed general contractor should be consulted for further evaluation of the foundation to determine the significance of these concerns, and to make repairs/recommendations of repair as needed. IF the contractor determines structural repairs beyond scope of license, an engineer should be consulted.

### (B1-1.2) Main House



The crawlspace ground was not fully covered with a plastic vapor barrier. This can allow ground evaporation to condense on various components, resulting in damage.

It was noted that some HVAC ducts were moisture damaged/cracked and microbial growths were present on wooden and other surfaces, indications of reoccurring periods of elevated moisture. Continued and/or repeated exposure to excessive moisture may result in floor system decay or further defects. A crawlspace remediation specialist or licensed general contractor should be consulted for comprehensive evaluation of the crawlspace to determine the cause(s) and extent of moisture related concerns, and to make recommendations of repair as needed.

## B3. Structural: Floor Structure

### B3-1 Main House



The sill plates were noted to have movement and were not flat on the foundation in most locations, particularly on the right and rear of the home. Movement of the sill plates can indicate improper fastening of the floor structure to the foundation and related movement of the floor and/or wall structures. Further movement could potentially result in damages to finished surfaces. A licensed general contractor should be consulted to evaluate the sill plate throughout the home to determine the extent of defects and to make repairs as needed.

### (B3-1.2) Main House



Varying degrees of wood decay were noted in all floor structure components at the left door/kitchen door, conditions which could result support capabilities of the floor, potentially resulting in movement and related damages. A licensed general contractor should be consulted to determine the cause and extent of defects and to make repairs as needed.

\*Inspector's note- apologies for the blurry photo!

## C2. Roofing: Drainage Systems

### C2-1 Gutters



Gutter systems were in poor overall condition, were with damaged or improperly installed fasteners, damaged trays and noted to be full of shingle granules of other debris, conditions which can impair proper roof drainage. Improper roof drainage can result in damages to fascia, sheathing and other underlying components. A licensed general contractor should be consulted for full evaluation of the roof drainage systems and to make repairs as needed.

## D2. Plumbing: Water Distribution Systems

### D2-1 All



The hose bib at the rear of the home was not secured, a condition which allows potentially damaging movement of the plumbing supply components. A qualified general repair specialist should be consulted to make repairs as needed.

## D3. Plumbing: Drain, Waste, Vent Systems

### D3-1 Crawl Space



There were leaks from the hall bathroom shower assembly and evidence of prior leaks from the hall and master bathroom toilets. Further leaks may result in damages to underlying and adjacent components. A licensed plumbing contractor should be consulted to evaluate all hall and master bathroom drain systems and to make repairs where needed.

Wood decay, water damages and wood destroying fungus were noted on a few structural components in the hall and master bathroom areas related to prior leaks. Repairs have been made, however, some damages are still present. Damaged wooden structure can result in improper support, related movement, and further damages. A licensed general contractor should be consulted to fully evaluate the floor structure components at the bathrooms' location, and to make repairs as needed.

## D4. Plumbing: Water Heating Equipment

### D4-1 Unit 1 (Location: Laundry)

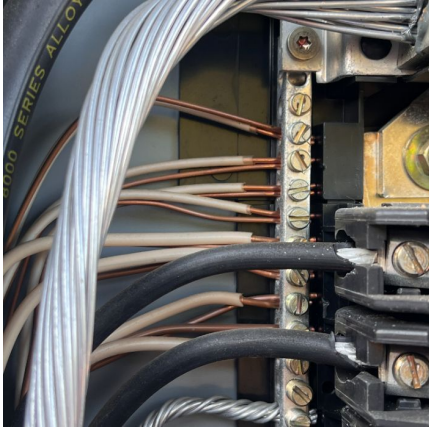


The 2013 US Craftmaster 50 gallon electric water heater was operated and functioned as intended.

It was noted that the electrical service conductor entered the onboard junction without proper strain relief connection. This allows the electrical conductor to contact the sharp metal edge of the junction lid, a condition which can result in damages. This can also allow damaging movement of the conductor and loss of service. A licensed electrician or licensed plumbing contractor should be consulted to make repairs as needed.

## E2. Electrical: Main Panel

### E2-1 Main Panel (Location: Exterior Left)



The following concerns were noted with the main electrical panel and meter base, located on the exterior left of the home -

1. The ground/neutral bus bar located has connections where two neutral conductors or neutral/grounds are connected together under one lug (double-tapped). This condition presents a safety hazard that could result in improper overcurrent protection, improper grounding, and/or circuit overheating.
2. Both the meter base and the main panel were not secured to the exterior of the home, a condition which can allow for potentially damaging movement of electrical components. (This is likely the result of failed cladding/siding)

A licensed electrical contractor should be consulted to make repairs.

## E5. Electrical: Light Fixtures, Receptacles, Smoke Detectors

### E5-1 Exterior



Exterior receptacles were not functioning at the time of the home inspection. This may indicate damages to the circuit, the corresponding GFCI device, or other components. A licensed electrician should be consulted to make repairs as needed to restore service to the exterior receptacles.

\*Note - this may be linked to a GFCI not located during the inspection.

### (E5-1.2) Exterior



Exterior electrical receptacles were loose within wall mounts at the rear of the home, a condition which can result in damages and/or shock hazards. A licensed electrician or qualified general repair specialist should be consulted to evaluate all interior receptacles and to make repairs as needed.

## E5. Electrical: Light Fixtures, Receptacles, Smoke Detectors

### E5-2 Interior



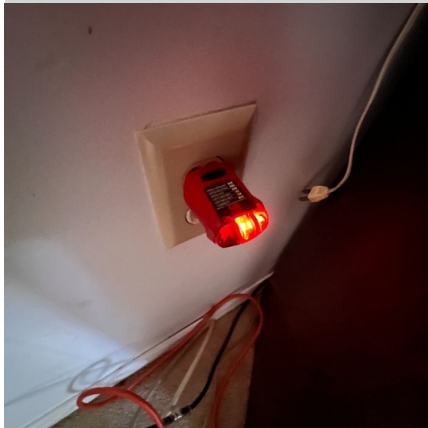
The GFCI receptacle to the right of the of kitchen sink did not respond the handheld tester, possibly indicating component damages. The receptacle did respond to onboard test buttons, however. Improperly functioning GFCI devices may present shock hazards. A licensed electrician should be consulted to make repairs as needed.

### (E5-2.2) Interior



The receptacle left of the kitchen sink was noted to be loose and/or to have a damaged to the mount, a condition which may result in damaging movement of the receptacle or the attached conductors. A licensed electrician should be consulted to make repairs.

### (E5-2.3) Interior



Interior electrical receptacles were loose within wall mounts in various locations of the home, a condition which can result in damages and/or shock hazards. A licensed electrician or qualified general repair specialist should be consulted to evaluate all interior receptacles and to make repairs as needed.

### (E5-2.4) Interior



The wall switch in the master bedroom was loose and detaching from the wall, a potential shock hazard. A licensed electrician should be consulted to make repairs.

## F2. Heating Systems: Distribution System

### F2-1 Heating Unit 1



A duct near the air handler was excessively sagged and appeared to be holding water at the time of inspection, a condition which can impair or negate function of the duct, and potentially result in further damages. A licensed HVAC contractor should be consulted to fully evaluate the HVAC ducts to determine the extent defects and to make repairs as needed.

## H2. Interiors: Kitchens

### H2-1 Kitchen



The kitchen sink base was water damaged from prior leaks, negating intended storage function. Have repaired by a cabinet repair specialist or licensed general contractor.

### H3. Interiors: Bathrooms

#### H3-1 Both Bathrooms



The tub spouts were loose and not sealed to the surrounds, a condition which may result in damages to the attached supply line. A plumbing contractor should be consulted to make repairs.

#### (H3-1.2) Both Bathrooms



The hall bathroom shower control valve leaks, indicative of component damages. This may result in improper operation of the diverter valve. A plumber should be consulted for repair.

#### (H3-1.3) Both Bathrooms



Toilet supply valves were heavily corroded and not secured, conditions prone to leaks and/or component failure. The master bathroom valve had evidence of reoccurring leakage, a condition which could damage underlying components. A licensed plumbing contractor should be consulted for further evaluation and to make repairs as needed.

**(H3-1.4) Both Bathrooms**

The master bathroom sink porcelain has failed and underlying metal is rusted, conditions which can be considered personal injury concerns. A licensed plumbing contractor should be consulted to make repairs or replacements as needed.

**(H3-1.5) Both Bathrooms**

The master bathroom toilet floor flange bolts were heavily rusted, a condition prone to improper bolt function and related toilet movement and damage. A plumbing contractor should be consulted to make repairs as needed.

**(H3-1.6) Both Bathrooms**

Cracks were noted in the drywall above the master bathroom door, a possible indication of prior movement in this location of floor and/or wall structure components. This could be the result of one or the combination of multiple factors, ranging from damages to underlying floor structure or structural support, excessive moisture or expansion due to moisture, foundation concerns, improper framing installations and more. A licensed general contractor should be consulted to determine the cause and extent of defects, and to make repairs as needed.

## I1. Insulation & Ventilation: General

### I1-2 Crawl Space



Fiberglass batt floor system insulation was damaged and downed in various locations of the crawlspace, impairing intended function. A crawlspace remediation specialist or licensed general contractor should be consulted for further evaluation of the floor system insulation and to make repairs as needed.

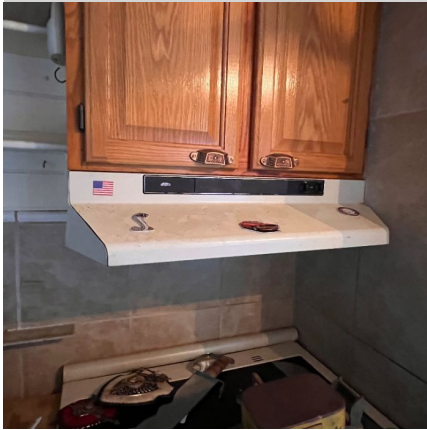
### (I1-2.2) Crawl Space



Foundation vents were closed or partially opened in most locations, conditions which prevent proper crawlspace ventilation. This can result in elevated moisture within the crawlspace and related damages. A crawlspace remediation specialist or qualified general repair specialist should be consulted to make repairs as needed.

## J1. Appliances: Appliances

### J1-2 Range Hood (Location: Kitchen)



The range hood installation was improper. The range hood was not equipped with recirculating fan or exterior exhaust, resulting in the fan exhausting into the base of the cabinet. This negates the intended purpose of the fan. A licensed general contractor should be consulted to make repairs as needed.

## Inspection Report

This report is a written evaluation that represents the results of a home inspection performed according to the home inspector's specific standard of practice as identified in your home inspection contract. The word 'inspect' per the home inspection standards of practice means the act of making a visual examination. This report was prepared for a specific client (homeowner) to prepare for a real estate sale. This report reflects the condition of the property at the time of the inspection only and does not imply that no concerns other than those reported exist. This report was not intended to replace or discourage a buyer from having their own inspector perform a home inspection of the property. It is recommended that any potential buyer request a home inspection from a professional of their choice to reflect the condition of the property at the time of their purchase. THIS REPORT WAS INTENDED TO BE VIEWED IN COLOR AND THE INSPECTOR SHOULD BE NOTIFIED IF THE REPORT RECEIVED IS NOT IN COLOR. THE DIRECTIONAL REFERENCE OF LEFT AND RIGHT IS AS FACING THE FRONT OF THE HOME.

*Temperature:* 74 Deg. F

*Weather Conditions:*

## A. Exterior

All concerns related to exterior items listed below or identified to be deficient are in need of further evaluation and or repair by a Licensed General Contractor. If additional concerns are discovered during the process of evaluation and repair, the General Contractor should consult a specialist in each trade as needed. It is important to correct deficiencies on the exterior of the home to prevent direct water penetration into the building envelope which can result in structural damage and or undesirable environmental conditions. Repairs and evaluations should be made prior to closing to ensure that the buyer understands the full scope or extent of the concern. Exterior systems and components should be inspected and maintained annually.

### A1. Exterior: Wall Cladding

A1-1 Main House

**Cladding Type:** Hardboard/Fiber Cement

**Trim Type:** Wood

(A1-1.1) Main House



The exterior cladding was decayed and was failing in multiple locations, most notably on the left and rear of the home, a condition which can allow water to enter behind the cladding and into the wall cavity, resulting in further component decay and damages. A licensed general contractor is needed for comprehensive review of the exterior cladding of the home to determine the extent of defects, and to make repairs as needed.

#### (A1-1.1) Additional Photos





(A1-1.2) Main House



All wooden fascia, soffit, and trims, and the left awning, were noted to have varying degrees of weather/age related decay. Progression of these damages may result in water penetration into underlying areas, further decay or component failure. A licensed general contractor should be consulted for further evaluation of all exterior components to determine the extent of defects, and to make repairs as needed.

(A1-1.2) Additional Photos





**(A1-1.3) Main House**



The open wall penetration was not fully sealed at the rear left of the home. This can result in inefficiency and potential moisture/insect entry. A qualified general repair specialist should be consulted to make repairs.

## A2. Exterior: Windows and Doors

### A2-1 Windows/Doors

**Window/Door Type:** All

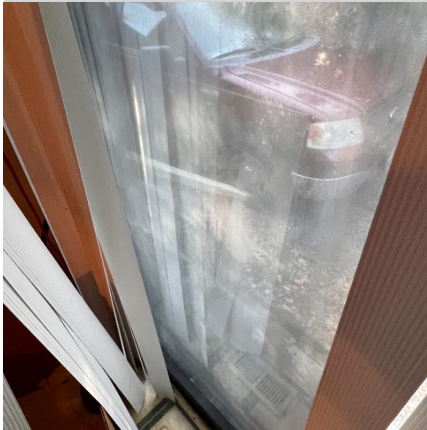
**Location:** All

#### (A2-1.1) Windows/Doors



A window in the dining room was noted to have broken glass, a personal injury hazard. A glass repair specialist or licensed general contractor should be consulted to make repairs.

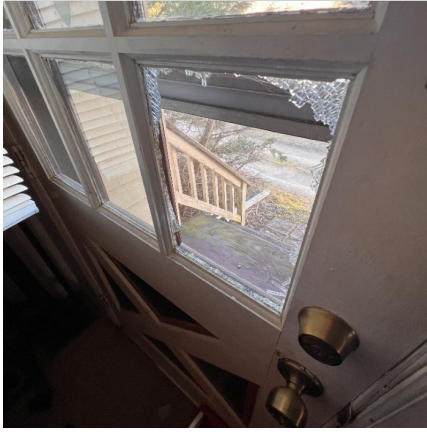
#### (A2-1.2) Windows/Doors



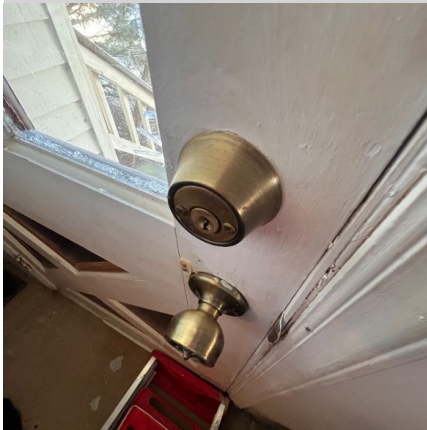
Multiple windows of the home had interior hazing, a condition often indicative of gas seal damage and related moisture entry. Gas seal damage can impair overall insulation capabilities of the window and continued moisture entry may result in further damages to glass and/or frame components. A glass or window repair specialist should be consulted to evaluate all windows of the home to determine the extent of defects, and to make repairs as needed.

#### (A2-1.2) Additional Photos



**(A2-1.3) Windows/Doors**

The front door was noted to have broken glass, a condition which may present personal injury concerns and impairs security features of the door. A window repair specialist or licensed general contractor should be consulted to make repairs needed.

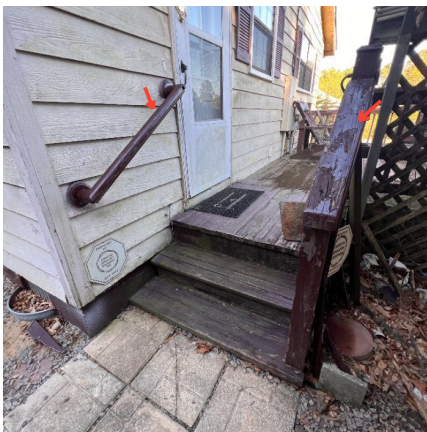
**(A2-1.4) Windows/Doors**

Some exterior doors of the home have a double key deadbolt lock. This type of lock cannot be unlocked from the interior of the home without the key and is not recommended. In the event of an emergency, the key may not be available resulting in a person not being able to exit the home, presenting a personal injury concern. If this is of further concern to the buyer, a locksmith or qualified repair specialist should be consulted.

**A3. Exterior: Decks, Porches, Stoops, and Balconies****A3-1 Deck/Rear Steps**

**Construction Type:** Wood (Wood Surface)

**Location:** Main House Left

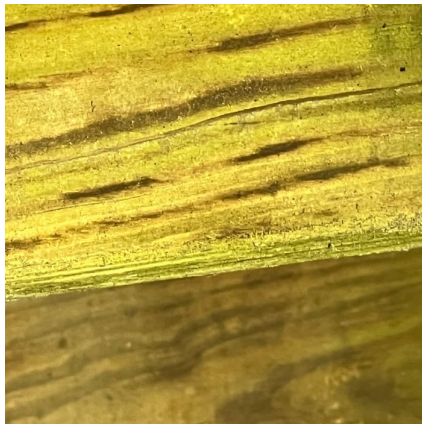
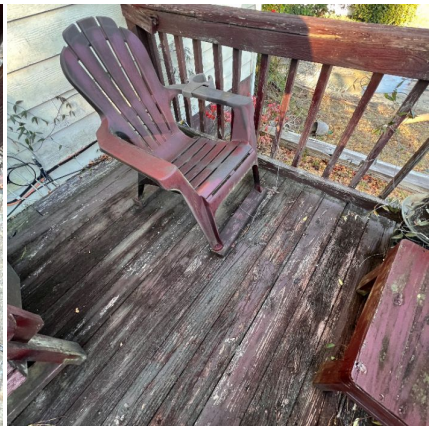
**(A3-1.1) Deck/Rear Steps**

The following concerns were noted with the deck and the rear steps by the sliding glass door -

1. Moderate to severe wood decay was noted throughout exposed wood components, stair treads and rail systems, conditions which may impair support, potentially presenting personal injury or trip hazards. Also, hand rails at the stairs were loose, a fall hazard.
2. Joists and other support or deck structure framing were inaccessible due to lattice, however, were partially viewable from the exterior front of the deck. From that position, a few joists close to the front were noted to be split. This can be the result of improper installations/improper support and related movement, or, decay. Damaged joists may result in structural movement.
3. Broken and decayed balusters may present fall hazards.
4. Stair stringers at the rear steps were noted to have areas of rot where in contact with the ground, a condition prone to movement and unsafe conditions.

A licensed general contractor should be consulted for comprehensive evaluation of the deck to determine all defects, and to make repairs as needed.

(A3-1.1) Additional Photos





### A3. Exterior: Decks, Porches, Stoops, and Balconies

A3-2 Porch

**Construction Type:** Wood (Wood Surface)

**Location:** Main House Front

(A3-2.1) Porch

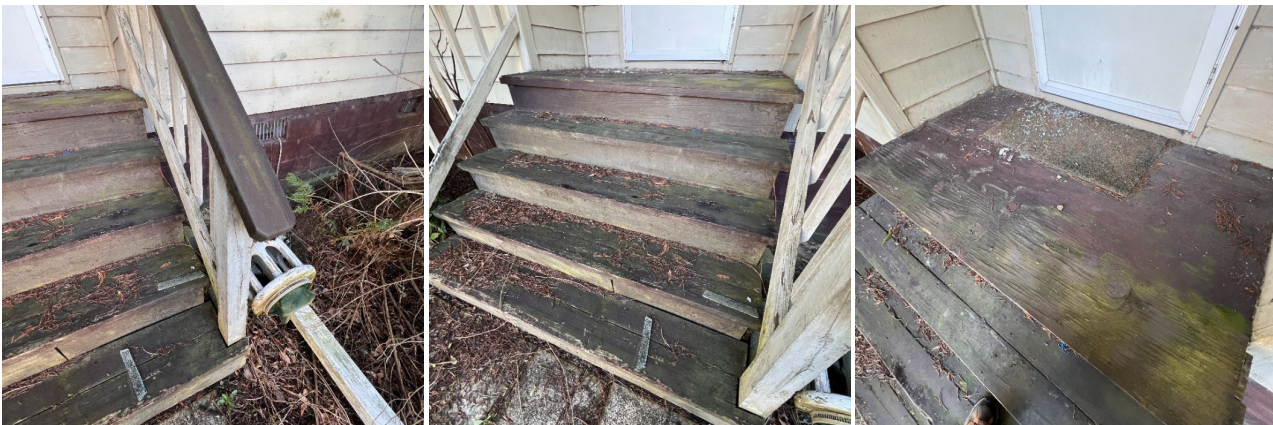


The front porch installations were noted to have multiple defects which presented potential fall and/or personal injury concerns, such as but not limited to -

1. Loose, damaged and improperly constructed handrails.
2. Decayed stair treads.
3. Stairs are at varying heights and/or at are greater gaits than typical. Also, stairs appeared to be too shallow.
4. The wooden porch was noted to have decay and was not flat.

A licensed general contractor should be consulted for full evaluation of all front porch components to determine the extent of defects and to make repairs as needed.

(A3-2.1) Additional Photos



### A4. Exterior: Driveways, Patios, Walks, Retaining

A4-1 Driveway and Front Walk

**Construction Type:** Concrete

**Location:** Main House Front

## A5. Exterior: Vegetation and Grading

A5-1 Vegetation

**Location:** All

(A5-1.1) Vegetation



Trees were in contact with exterior components, a condition prone to cladding, trim and/or roofing damage. An arborist should be consulted to remove limbs/trees safely away from the home to avoid damages.

## B. Structural

All concerns related to structural items identified to be deficient in the following section are in need of further evaluation by a Licensed General Contractor or Engineer. Items in need of repair should be referred to a General Contractor. Items in need of design consideration, evaluation of significance/cause, and or determination of adequacy should be referred to an Engineer. All structural concerns should be evaluated and corrected as needed to ensure the durability and stability of the home. Repairs and evaluations should be made prior to closing to ensure that the buyer understands the full scope or extent of the concern. Where accessible foundations, piers, columns, roof, and floor framing systems are inspected for visual defects such as broken, cracked, decayed, or damaged members; however, the evaluation of the system for design points such as correct span, load transfer, and or building code compliance is beyond the scope of the home inspection.

### B. Structural: Inspection Methods

When accessible and safe the inspector entered attic and crawl space inspection areas with a small probe, a camera, and a standard flash light. Where visible and accessible; floor and roof framing components were inspected for visual defects such as broken, cracked, decayed, or damaged members; however, the evaluation of the system(s) for design points such as correct span, load transfer, and or building code compliance is beyond the scope of the home inspection. The inspection of the attic was limited by available walking surfaces and the presence of insulation covering wood components.

### B1. Structural: Foundation

B1-1 Main House

**Foundation Type:** Crawl Space: Exterior Entrance

**Foundation Materials:** Block: Brick

(B1-1.1) Main House



Hairline stepping cracks were noted in the foundation mortar at the front right and right of the home. These cracks appeared to be consistent with expansive drying and did not transfer to the interior of the foundation wall. Damages such as these are generally considered superficial, however, may sometimes be attributed to other underlying causes, such as improper foundation support or support damages.

These damages did appear minor/superficial, however, it is beyond the scope of a home inspection to fully determine the cause and extent of structural concerns or related defect implications. A licensed general contractor should be consulted for further evaluation of the foundation to determine the significance of these concerns, and to make repairs/recommendations of repair as needed. IF the contractor determines structural repairs beyond scope of license, an engineer should be consulted.