

Ocean Isle Palms – Phase 1 & 2

Architectural Design Guidelines



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1.0 Introduction



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These Architectural Design Guidelines are intended to provide guidance for single-family detached residential design and development, within Pod B (Phase 1 & 2) of the master planned community known as Ocean Isle Palms (OIP), located at Ocean Isle Beach Road, Ocean Isle Beach, NC 28469.

This guideline is to be used during the preparation and review of plans for all privately developed lots. The guideline is not intended to limit creativity or prohibit creative responses to the unique site conditions and the overarching architectural style that is encouraged.

The Architectural Design Guidelines will be amended from time-to time by the Architectural Review Committee (ARC), particularly as the balance of the community is planned and developed, and as the new identity of OIP evolves.

Unfortunately, the previous master developer had not prepared a guideline to guide the design of the existing and future homes at OIP. Therefore, the intent of this guideline is to provide, for the first time, clear guidance to lot owners, their design teams and building contractors, as to how homes at OIP should be designed and constructed, and how to secure approval from the master developer/declarant (Drapac Capital Partners).

It is the responsibility of the lot owner, builder, or their representatives, to obtain the most current copy of the Architectural Design Guidelines before they embark on the design process.

The latest version of the Architectural Design Guidelines can be obtained by contacting:

Jessica Wood, CMCA, AMS

Community Manager

Associated Asset

2411 North Oak St.

Suite 404-E

Myrtle Beach, SC 29577

Email: jwood@associatedasset.com

Phone: 800-354-0257



The Architectural Design Guidelines include the following sections:

Design Review & Approval

This section outlines:

- the specific information that each lot owner/builder must provide for review and approval by the ARC, and
- the design review and approval process.

Community Context & Design

This section provides an overview of the OIP community, its context, and Phase 1 & 2.

Architecture

This section provides a description of the architectural style that homes need to reflect, and the specific requirements for siting and designing homes.

A typical lot layout and home siting plan is provided in Appendix A.

Landscaping

This section provides guidance on landscaping of private lots, including the retention of important existing vegetation and guidance on plant species selection.

A preferred planting list is provided in Appendix B.

Construction

This section provides guidance to lot owners and builders on the construction of the home and management of the site during its construction.



2.0 Design Review & Approval

Architectural Review Committee (ARC)

All architecture shall be subject to review by the OIP ARC. The ARC shall consist of three members, one of which will be a representative from the master developer/declarant. The committee will meet as required.

The ARC will review architectural designs in the community for conformance with this document. The decision of the ARC can be in the form of an approval, a conditional approval or denial. A conditional approval shall clearly outline the conditions upon which the application is approved.

The specific design review process for Phase 1 & 2 will operate under a batch submittal system in which lot owners/builders will submit required items for all homes on a lot-by-lot basis. Required submittal items will need to be submitted for each individual homesite.

Lot owners/builders must revise their plans to comply with suggested comments/changes from the ARC. They must receive final design review approval, before submitting to any applicable governing agency for plan check.

Approval from the ARC does not guarantee approval or a permit from other local jurisdictions or entities but is the first step in the process. Each individual lot owner/builder is responsible for all applicable permits and approvals from Brunswick County and any currently applicable agencies.

Preliminary Design Review

The lot owner/architect may choose to submit preliminary architectural plans and elevations prior to beginning construction drawings. All submittals shall be sent via email to jwood@associatedasset.com with full scaled PDF drawings. The ARC will notify the lot owner/builder in writing of the final review results within thirty (30) days after receipt of all required submittal materials. Note: ARC submittal fees must be paid prior to ARC preliminary concept review.

The following items are required for the preliminary concept submittal to the ARC. A submittal will not be deemed completed until the following items are included:

1. Conceptual architectural drawings (schematic design Level) – floor plans, roof plan, all elevations, and key details at a minimum scale of 1/8" = 1'-0".



Final Design Review

The lot owner/builder shall submit via email with full scaled PDF drawings (see Appendix C) of the final construction documents and one (1) set of final colors and materials boards.

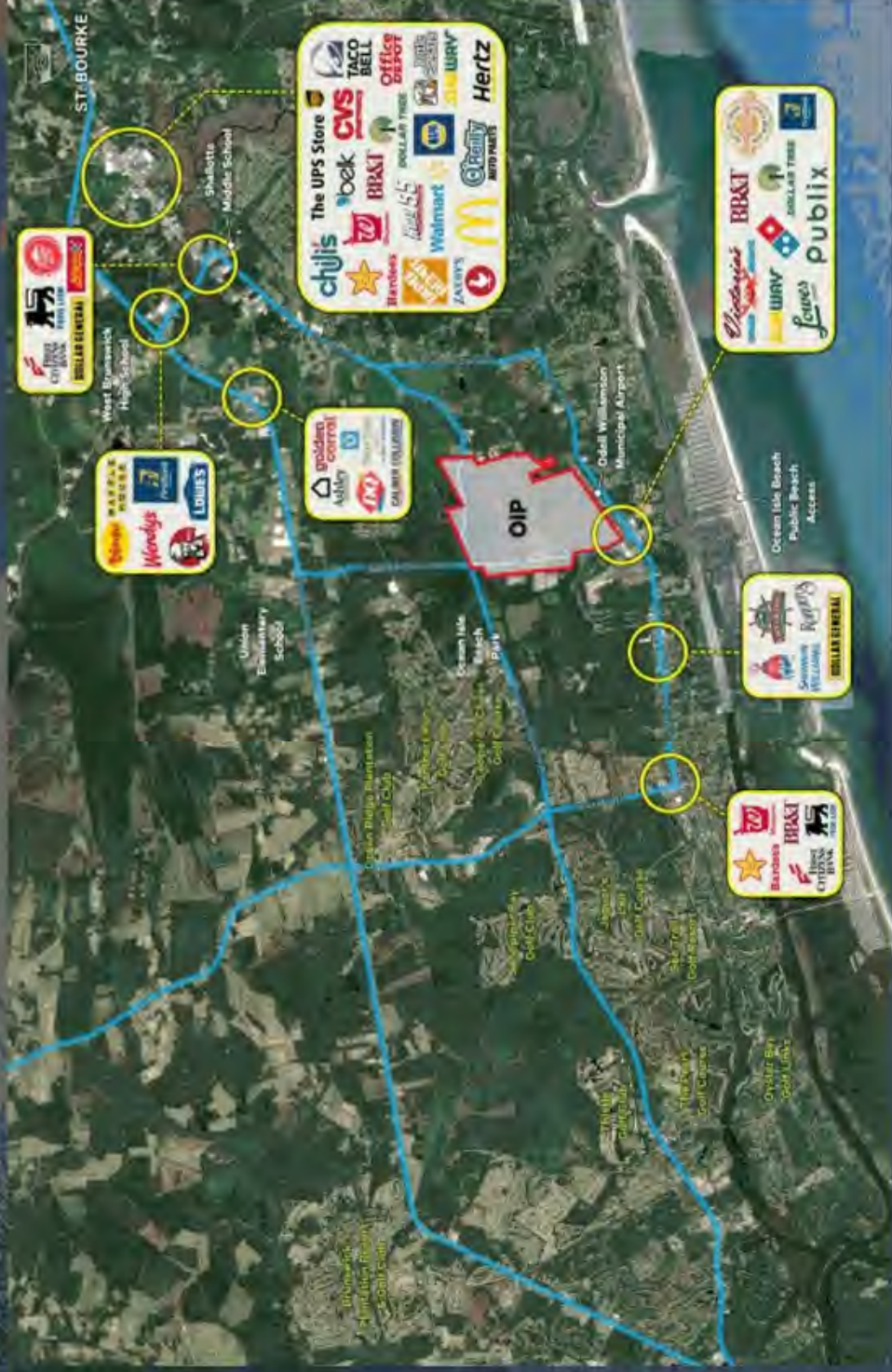
The ARC will notify the lot owner/builder in writing of the final review results within sixty (60) days after receipt of all required submittal materials.

The following items are required for the final submittal to the ARC. A submittal will not be deemed complete until all the following items are included:

1. Dimensional site plan showing plotted building footprint, dimensional building setbacks (minimum and typical) and all property lines at a minimum scale of 1" = 20'.
2. All proposed fences, garden walls, driveways and detached storage facilities shall also be clearly defined and dimensioned as required.
3. Architectural construction drawings – floor plans, roof plan, all elevations, building sections, and key details prepared at a minimum scale of 1/8" = 1'-0".
4. Architectural colors, roofing and materials board.
5. Final irrigation and landscaping plan to scale, identifying proposed planting types, sizes and counts.

If a plan deviates from the pre-approved drawings any time after final design approval, drawings must be resubmitted to the ARC for approval.

Located halfway between the popular destinations of Myrtle Beach and Wilmington NC, and less than a mile from the white sands of Ocean Isle Beach and the Intracoastal Waterway, OIP will evolve into a thriving community, that epitomizes the relaxed coastal lifestyle.



When complete, OIP will be a diverse and active community, home to over 5,000 people.

OIP also aspires to set new standards for contemporary master planned community development. The biggest contributor to OIP's future success, as a community, will be the quality, diversity and cohesiveness of its architecture and landscapes. Given that the dominate architectural will be residential, these guidelines, and their application, have a significant role to play.



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OIP Sub-Phase Plan



Above: plan showing sub-phases and vacant developed lots (VDLs) owned by private individuals (white) and DCP/declarant/master developer owned VDLs (red).



4.0 Architecture

The design philosophy for OIP integrates the tradition of the Craftsman style with historical precedents of the Gulf Coast, the islands of the Pacific and Caribbean, and the Lowcountry region.

House design in this area of coastal North Carolina has evolved in response to its coastal climate, culture and available building materials. Over time certain characteristics have been established to typify this regional vernacular architectural style. Houses may have porches to connect to the streetscape, high ceilings and large operable windows for views and ventilation. Each house may also incorporate design elements that are typically associated with the Craftsman style, as illustrated in these guidelines. These elements may include tapered square columns, roof dormers and brick or stone foundations or accents.

By blending the elements of the coastal/island/Lowcountry vernacular with the Craftsman style, OIP seeks to create a cohesive community where the houses have a sense of belonging to each other and to their environment.

The following Architectural Guidelines create a framework for a consistency of architectural design while allowing room for individual creativity and expression. Following these guidelines will help ensure that the houses of OIP will have a quality of design and construction that will enhance the enjoyment and value of this property for many years to come.



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The architecture of OIP, and its unique location, will truly set the community apart and underscore its relaxed pace and beachside location. OIP will echo and reinterpret the timeless elegance of the *Coastal Craftsman* and *Island Plantation* architectural styles and the practicality of the *Florida Cracker Homes* and *Lowcountry Farmhouse*.

Island Plantation



Above: low profile wood frames, large porticos, wide-hipped roofing, deep bracketed eaves and large operable shutters and screening.

Florida Cracker



Above: elevated porch entry, long roof overhangs, large openings and shallow building depths and cupola for ventilation.



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Coastal Craftsman



Above: multiple roof planes, gabled roofs, deep overhangs, decorative brackets and accents, exposed rafter tails, dormer windows and vertically divided lights, welcoming front porches, stone or brick foundation and column bases.

Lowcountry Farmhouse



Above: broad hip roofs, wide covered wraparound porches, wide central passageway, large double-hung windows, transom windows and doors, shutters, high ceilings and hardwood floors.

Lowcountry Farmhouse Continued



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Above: examples of desired architectural styles.



Achieving a consistent OIP architectural style, but not at the expense of diversity, is the key architectural objective. For inspiration, a range of examples have been included in this section to provide guidance on design elements and the variation of layout and look that can be achieved and are acceptable at OIP.

The key attributes of the OIP style are as follows:

- designs adapted to the local climate and southern coastal vernacular influences;
- gabled roofs, with generous overhangs and expressed framing;
- dormer windows and multiple roof planes;
- decorative brackets and accents;
- stone or brick foundation and column bases;
- thick beams and columns;
- generous and welcoming front porches and screened outdoor rooms, to rear or side of home;
- detailed doors and windows with multiple panes of glass;
- individual windows ganged together to create a bank of windows;
- open floor plans;
- natural materials, including wood, stone, brick glass, tile;
- built-in woodwork;
- fireplaces as a focal point for socialization and relaxation outdoors;
- many windows for natural light;
- operable shutter windows; and
- clean, crisp, light interiors and exteriors – preferably a lighter, cool coastal color scheme.



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Form & Massing

The OIP style is typically comprised of one and two-story box like massing with a gable roof and predominantly horizontal appearance. Large front-facing opposing gable elements are typical variations. The front has a full or partial width porch with decorative columns. Column variations include solid porch balustrades, battered columns, or decorative wood upper sections resting on larger or oversized lower piers. Roof planes are typically low in pitch, not exceeding 6:12, although certain bungalow variations may reach a 12:12 roof pitch.

Porches (screened and open) are also encouraged at the side and rear of the home, where appropriate, to promote the desired casual, coastal atmosphere, and a more seamless connection between the interior and exterior of the home, the streetscape and surrounding environment.



Above: full or partial width porches and massing and height variation to prominent corners and entries.



Elements

Broad overhangs with exposed and ornamental rafter tails at the eaves are encouraged. The extensive use of heavy ornamental wood detailing at gables, beams, brackets, railings, and occasionally operable wood shutters is also characteristic of this desired style.



Above: broad overhangs and exposed and ornamental rafter tails, ornamental wood detailing.

Materials & Colors

Horizontal wood siding, shingles, or stucco, alone or combined, with stone or brick accents for the façade are required.

Light colored, galvanized metal standing seam roofing is encouraged at OIP, to give the home a more contemporary/coastal look, and to keep the home cooler in summer. However, roof tiles in lighter gray shades are acceptable.

To achieve a more contemporary/coastal look, that looks and feels cool in Summer and provides a contrast to the surrounding environment, a cooler/lighter color scheme is encouraged with darker shades acceptable for trims and accents.



Above: metal standing seam roofing, light coastal color schemes, decorative lighting and accents.

General Requirements

The goal is to create a community expressing variety and diversity in form, layout and materials, while maintaining the informal connection to nature and the beach beyond, that makes OIP so special. In order to achieve this and maintain a high standard of quality, the following general requirements shall apply to all residential architecture:

1. Floor plans should be developed with the OIP style in mind. All plans shall reflect the massing, roof pitches and architectural elements appropriate to the selected style.
2. Exterior materials shall be wood, cementitious board, stucco, and/or local stone and brick veneers. Vinyl siding will not be permitted.
3. Exterior material changes should be made at an inside corner, or other logical termination point, to prevent a tacked-on, low quality, thin veneer appearance. Veneer treatments should “wrap” corners with logical terminations that are a part of the design intent.
4. Metal standing seam roofing is preferable, however concrete tile or dimensional composition shingle is also acceptable. Roof materials shall be Class A fire rated and non-reflective.



5. Shutters shall have a minimum thickness of 1 ½ inches at exposed edges and the shutter width shall be proportionate to the window opening in both height and width and must be operable.
6. A minimum 1 ½ inch thick fascia material and/or articulated gutters are required at all eave conditions, unless otherwise approved by the ARC.
7. Window heights, widths and depths shall be in keeping with the architectural style selected. The proportion of window areas is a key focus of the ARC.

Specific Requirements

Representing the largest home sites in OIP, Phase 1 and 2 is intended to express the most diversity and uniqueness in its homes, with an emphasis towards more formalized detailing. This distinction will provide for a neighborhood in keeping with the broader Ocean Isle Beach and OIP community, while maintaining a higher level of design excellence.

Building and Setback Requirements

The table on the following page summarizes the specific building and setback requirements, by sub-phase.

Note: these building and setback requirements are outlined in the recorded plats, and are mandated by Brunswick County:



Color Palettes

The colors chosen for Ph. 1 & Ph. 2 range from coastal cool colors to deeper tones inspired by the coastline of Ocean Isle Beach. A cooler/lighter color scheme is encouraged for house paint color with darker shades acceptable for trims and accents. Exhaustive color list on following pages.





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Color Palettes

Displayed Colors

A1 - OC-109 Lemon Chiffon
 A2 - 2020-70 Yellow Freeze
 A3 - 2024-60 Lemonade
 A4 - 2022-60 Light Yellow

B1 - OC-92 Mannequin Cream
 B2 - HC-6 Windham Cream
 B3 - HC-5 Weston Flax
 B4 - 2152-50 Golden Straw

C1 - 2168-70 Sun Kissed Peach
 C2 - 2175-70 Peach Parfait
 C3 - 210C-1 Angel Blush
 C4 - 2168-60 Peach Nectar
 C5 - M200-1 Peach Sachet
 C6 - 1198 Antique Coral
 C7 - CW-205 Raleigh Peach

D1 - OC-129 Alabaster
 D2 - 2071-70 Misty Lilac
 D3 - 2068-70 White Heaven
 D4 - 1394 Sugarplum
 D5 - 2116-60 Touch of Gray
 D6 - 2069-60 Lavender Ice
 D7 - 2070-60 Lavender Mist
 D8 - 1403 French Lilac
 D9 - 2116-50 African Violet

E1 - M450-1 Dew Pointe
 E2 - P450-1 Sea Ice
 E3 - 652 Caribbean Breeze
 E4 - P450-2 Tahitian Breeze
 E5 - M470-2 Basin Blue
 E6 - 2051-60 Bird's Egg
 E7 - HC-150 Yarmouth Blue
 E8 - 2128-50 November Skies
 E9 - 2130-50 New Hope Gray

F1 - 2121-70 Chantilly Lace

F2 - OC-17 White Dove
 F3 - OC-141 China White
 F4 - CC-50 White Down
 F5 - OC-9 Ballet White
 F6 - OC-10 White Sand
 F7 - 983 Smokey Taupe
 F8 - 1467 Baltic Gray

G1 - 2032-70 Lime Sorbet
 G2 - 547 Mint Julep
 G3 - 569 Nottingham Green
 G4 - 570 Grassy Meadows
 G5 - 2033-50 Bud Green

H1 - 2137-70 White Whisp
 H2 - OC-55 Paper White
 H3 - 1611 Graytint
 H4 - HS-171 Whickham Gray
 H5 - 1563 Quiet Moments

All Other Colors

OC-152 Super White
 OC-146 Linen White
 HC-4 Hawthorne Yellow
 OC-142 Sail Cloth
 2153-60 Rich Cream
 2023-60 Butter
 2021-70 Pale Straw
 HC-30 Philadelphia Cream
 HC-176 Annapolis Gray
 330 Pam Coast Pale
 2122 Smoke
 1627 Manor Blue
 2128 November Skies
 HC-140 Prescott Green
 2123-40 Gossamer Blue
 2135-50 Soft Chinchilla
 HC-146 Wedgewood Gray
 HC-143 Wythe Blue

HC-139 Salisbury Green
 HC-149 Buxton Blue
 HC-114 Saybrook Sage
 2136-50 Colorado Sky
 2129-50 Winter Lake
 HC-142 Stratton Blue
 2122-30 Cloudy Sky
 2135-40 Province Blue
 2123-30 Sea Star
 2144-30 Rosemary Sprig
 HC-145 Van Courtland Blue
 AC-23 James River Gray
 2143-40 Camouflage
 HC-83 Grant Beige
 HC-90 Crown Point Sand
 HC-80 Bleeker Beige
 AC-1 Coastal Fog
 2108-50 Silver Fox
 137-50 Sea Haze
 HC-282 Bennington gray
 2111-50 Stone Harbor
 HC-95 Sag Harbor Gray
 HC-79 Greenbrier Beige
 HC-108 Jockey Hollow Gray
 HC-91 Danville Tan
 HC-21 Huntington beige
 HC-102 Clarksville gray
 AC-2 Berkshire beige
 HC-105 Rockport gray
 HC-21 Huntington beige
 990 Hampshire Taupe
 AC-39 Mt Rushmore Rock AC

Accent Colors Only

HC-190 Black
 2003-10 Million Dollar Red
 HC-70 Van Buren Brown
 2103-30 Peatmoss
 2104-30 Harvest Brown



Color Palettes

Accent Colors Only Contd.

2111-30 Mustang
HC-65 Hodley Red
2142-10 Mediterranean olive
2108-30 Brown Horse
HC-68 Middlebury Brown
2102-20 Pumpnickel
2109-30 Wood Grain Brown
2112-30 Stone Brown
2141-10 Artichoke
2112-10 Mink
2097-30 Hedgehog Brown
2100-30 English Brown
2101-30 Warm Brownie
2102-30 Pueblo Brown
2139-20 Dakota Woods Green
2138-20 Green Grove
2140-20 Tuscany Green
1467 Baltic Gray
572 Branch Brook Green
HC-123 Kennebunkport Green
2143-30 Olive Branch
2102-40 Brown Teepee
2100-40 Appalachian Spring
2107-40 Driftwood
2099-40 Autumn Brown
2109-40 Smoked Oyster
2144-20 Eucalyptus Leaf
2136-40 Aegean Teal
HC-161 Templeton Gray
2123-20 Caribbean Teal
AC-17 Sea Pine
HC-113 Louisburg Green
HC-122 Great Barrington Green
HC-112 Tate Olive
HC-126 Avon Green
HC-125 Cushing Green
HC-124 Caldwell Green
2135-30 Nocturnal Gray
HC-121 Peale Green

HC-160 Knoxville Gray
HC-98 Providence Olive
2142-40 Dry Sage
HC-89 Northampton Putty HC-94 old Salem Gray
HC-77 Alexandria Beige
2141-40 Creekside Green
2140-40 Storm Cloud Gray
2108-40 Stardust
HC-110 Wethersfield Moss
HC-97 Hancock Gray
2111-40 Taos Taupe
HC-86 Kingsport Gray
2138-40 Carolina Gull
2137-40 Desert Twilight
HC-104 Copley Gray
HC-168 Chelsea Gray
HC-109 Sussex Green
HC-106 Crownsville Gray
HC-103 Cromwell Gay
CW-440 Gloucester Green
HC-85 Fairview Taupe
2139-30 Sharkskin
2137-20 Char Brown

Note: All paint brands and colors submitted not listed or shown on color palette will be considered by the ARC; however, House bright colors that deviate from the muted color range will not be considered.



Massing

To the greatest possible extent, single story elements are encouraged for a sense of scale and variety on the streetscape. Front elevations shall be designed to emphasize entries, porches, or other resident use areas, and to de-emphasize garages.

Corner homes shall provide a significant single-story or two-story element on both the main street elevation side, and the secondary street elevation side when possible. This may take the form of a wrapping porch, if style appropriate, or can be living space.

Plans and elevations shall be mixed to avoid the repetition of identical facades and rooflines.

Articulation

The same architectural trim treatments, such as eave trim and window trim, are to be provided on all elevations, achieving four-sided architecture. Window trim and grids shall be style specific and shall not vary from front to side to rear.

Stucco homes are required to have stucco on all four sides, not just the front elevation. On corner lots and all lots abutting parks or other amenities, the details and character elements of the front elevation shall continue around the corner onto the side elevation.

Rear elevations that face streets or pedestrian paths, and those facing ponds or wetlands, shall reflect the same level of detail of the front elevation style.

Porches

Porches are encouraged to provide for lifestyle opportunities, massing variation, street-scene articulation and for historical accuracy on applicable styles. Porches shall have a minimum depth of five feet, although greater usable depth is encouraged.

Porch styles, including fenestration, railing, roof pitch, supports, overhang and columns, will be consistent with the architectural style of the home. A mix and match of columns and railings is discouraged.



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Homes plotted on corner lots are encouraged to have porches that wrap around both front and side facades. For architectural styles without porches, a clearly articulated entry shall be provided.

Where the front door is not visible from the main street frontage, as in a courtyard entry, a gateway structure, portal, entry tower, or other architectural element, shall be provided to clarify the entrance location.



Above: open and screened porches that encourage seamless indoor/outdoor living.



Garages and Driveways

Houses and yards, rather than garages, should be the primary emphasis of street elevations. House designs shall place entries, windows, front porches and living areas directly adjacent to the street on most plan variations, while recessing the garages, where possible.

Front loaded garages are encouraged to have decorative “carriage-style” garage doors that match the architecture of the home.

All garages shall be placed at the rear of the house on alley loaded lots. All garages shall be set back from the front living space of the house whenever possible on front loaded lots, unless otherwise approved by the ARC.

The three-car garage configuration requires careful consideration to de-emphasize its impact on the street. The standard front facing three car garage configurations are discouraged but may be mitigated by breaking the massing plane at the garages.

Driveways shall be constructed of scored concrete. Asphalt driveways will not be permitted. Although not required, the use of dark-toned colored or stamped concrete or interlocking pavers is encouraged.



Above: carriage-style garage doors, materials, color scheme and style consistent with home.



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Gutters & Downlights

Gutters and downspouts are highly encouraged for all residential structures. Exposed gutters and downspouts shall be painted to match the surfaces to which they are attached. The use of decorative gutters and downspouts is encouraged, when style appropriate.



Above: exposed and decorative gutters and downspouts, to compliment surface to which they are attached.

Fences

Fences shall be of high quality and made of wood or black aluminum. Before installation, a fence layout plan must be submitted to the Architectural Review Committee for approval. Paint or stains for wooden fences must be submitted to the ARC for approval. No shades of reds or bright color will be allowed. Privacy fences for lake lots are discouraged and will be approved on a case-by-case basis. Fencing shall be in keeping with the fencing designed throughout the common areas of the community.

Prior to installing fence, locate underground utilities, and property corner pins to ensure fence is installed on your property. No fences shall be constructed in the right of way. Be aware of any drainage and utility easement across your yard. You cannot deny access to utility companies and your fence must not impede the drainage across your lot.

Privacy fences shall not be taller than six feet six inches (6'-6") and finished side of the fence must face the street or exterior of the property. Side yard fencing on a corner lot shall not exceed the building setback line.

Front fences should not be more than 4' from back corner of home. Fence can be adjusted for windows and AC units, but fences facing the road should not typical be more than 10' of back corner of home.



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Chimneys & Roof Projections

All roof projections, including chimneys, flues and vents shall be compatible in scale, height, and material with the structure from which they project. All chimneys and related safety features (such as spark arrestors) must comply with applicable local ordinances. Chimney hardware must be screened within an architectural feature such as a decorative chimney cap in keeping with the architectural style of the home.



Above: chimneys, flues and vents to be compatible in scale, height and material with the structure/style of the home.

Ancillary Buildings

Detached garages, storage sheds and out-buildings are required to be of similar material, siding, roofing and color as the primary dwelling. Outbuildings and sheds shall not be more than 150 sq. ft. in size and no higher than 8 ft. in height, unless approved by the ARC.

The design and location of such structures are subject to the approval of the ARC. Detached garages built after the initial construction of the home must conform to the Architectural Design Guidelines and shall be submitted to the ARC for review.





Exterior Lighting

Exterior lighting design is integral to a home's evening appearance. The use of exterior wall washes and landscape lighting is encouraged in the exterior lighting design.

All front yard exterior and access lighting shall be installed with a photosensitive switch that only allows the lights to be activated from dusk to dawn.

Translucent light shades shall be encouraged as to prevent any direct lighting impact on neighbors.

Other approved exterior lighting shall include normal front door entry, garage and other entries to the home providing they do not exceed 100 watts each and do not otherwise illuminate neighboring properties. Selection of light fixtures for highly visible locations (i.e. entry areas, corner lots) shall minimize off-site glare.



Above: lighting fixtures to be consistent with architectural style, exterior wall washes and landscape lighting encouraged and to limit impact on neighbors.



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Mailboxes & House Address Numbers

Mailboxes shall be installed in conformance with Postal Service requirements.

The community mailbox is shown below along with webpage for purchasing.

The mailbox is the Essex Standard Size with 2" Williamsburg Brass Numbers for the address number.

<https://addressesofdistinction.com/essex-mailbox-system>



ESSEX MAILBOX SYSTEM

\$319.99

FREE SHIPPING!

The Essex mailbox features a classic decorative casting, pineapple finial, and Cornishian base mounted on a sturdy 2.5 inch post. As with all of our products, the Essex mailbox post system is crafted of top's rust free aluminum and will serve as a beautiful introduction to your home for years to come.

The Essex mailbox system is unique in that the address numbers appear on a bracket below the mailbox. The Essex is shown with a large size mailbox with the house numbers on the bracket below the mailbox. This mailbox comes standard with our 2" Gold Vinyl Reflective numbers.

Mailbox: *

☐ Standard ☒ Large

Address Number: *

Number Style: *

☐ 2" Gold Vinyl Reflective Numbers ☒ 2" Williamsburg Brass Numbers

☐ 2" Silver Reflective Vinyl Numbers

Meters & Utilities

Both gas and electrical meters and cable panels shall be screened from view from the street as much as possible.

All utility connections to the house shall be underground.

No outside antennae or aerials are permitted. Satellite dishes are to be placed in consideration of neighbors and neighboring views. It is preferred by the ARC that satellite dishes be placed on the far back corner of the dwelling.



Ancillary Buildings

Detached garages, storage sheds and out-buildings are required to be of similar material, siding, roofing and color as the primary dwelling. Outbuildings and sheds shall not be more than 150 sq. ft. in size and no higher than 8 ft. in height, unless approved by the ARC.

The design and location of such structures are subject to the approval of the ARC. Detached garages built after the initial construction of the home must conform to the Architectural Design Guidelines and shall be submitted to the ARC for review.



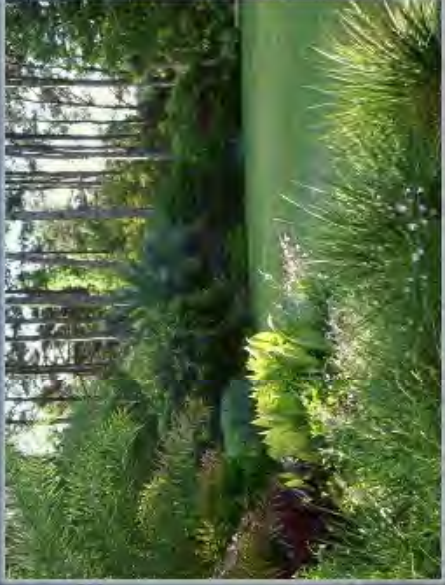
Above: detached garages, storage and out-buildings are required to be similar in style and construction to the home.

5.0 Landscaping



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Landscaping should emphasize native, long-lived species, well adapted to the Ocean Isle Beach location and/or reflective of the broader region. Plant material shall be water-conserving and drought resistant. Please refer to Appendix B for a comprehensive list of approved plant materials for the community.



Above: attractive native, long-lived species, well adapted to the broader region are encouraged.



The Architectural Design Committee will consider plants not included on the list, provided they are compatible with the overall aesthetic objectives of OIP. To maintain the high level of design and quality, the following general requirements shall apply to all landscaping throughout the community:

1. Retention of as many of the existing trees as possible, particularly the native *Longleaf Pines*;
2. Landscape plantings should consist of a few different varieties and types in order to create a more unified landscape. New trees and shrub plantings are to be a mix of sizes that will blend naturally into the surrounding site.
3. Plants which require little maintenance should be favored over those which require constant spray or pruning.
4. The use of larger specimen trees is preferred in areas close to the house to help blend buildings with the site, accentuate entry areas, provide for climate control, or define patio or outdoor areas.
5. Climate influences shall be considered in planting design in order to get maximum gain out of plant materials. Evergreen plants should be planted along the north and west sides of buildings to diffuse winter winds. Deciduous plants should be planted along the south and west sides of buildings to provide summer shade while allowing winter sun to enter the building.
6. The front yard area on each homesite shall be landscaped with approved plant materials which augment the adjacent street landscape. A minimum of sixty percent (60%) of the front yard is encouraged to be planted in grass, unless otherwise approved by the ARC. Extensive paved surfaces (excluding normal driveway access and entry pathways) will not be permitted.
7. A minimum of three (3) shade and flowering trees (2" caliper as measured 6" from the ground for deciduous species and/or 8' height for evergreen species) shall be planted along the street facing side(s) of the home.



8. A minimum of one three-gallon shrub shall be installed per four lineal feet (4') of the home's foundation, and one-gallon groundcover shall be installed per two lineal feet (2') of the home's foundation. These calculations shall exclude the driveway portion of the garage.
9. All planter beds shall have two inches (2") of pine straw applied to the surface to fill in between plantings. No colored mulch or colored rock shall be allowed.
10. The ARC may require a slight swale at the property line between adjacent homesites to prevent drainage from one homesite to another.
11. Garden ornaments/décor should complement the natural landscape and architecture, not detract from it. If a property's front yard becomes too cluttered, then the ARC will notify the owner with corrective actions. Anything that is permanent in nature (e.g. fountains or, sculptures) must be submitted to the ARC for approval. Stand alone flag poles are not allowed.
12. Builders are responsible for installation of front yard landscapes and individual automatic sprinkler systems. All front yard landscapes shall be irrigated by an underground automatic irrigation system installed by the builder and connected to the homeowner's water service. The automatic irrigation system shall be designed and installed as to prevent any overspray beyond the borders of the lot, particularly preventing overspray onto sidewalks and road areas.
13. The minimum front yard landscaping set forth must be installed within 45 days of substantial completion of the home, weather permitting. Rear yard landscaping abutting community open space shall be installed within 60 days of substantial completion of the home, weather permitting.



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Above: some of the recommended plant species that can be used for private landscaping.



6.0 Construction

Site Preparation and Drainage

Erosion protection: all reasonable measures shall be taken to avoid any damage to other properties during the construction process. Silt, sand or dirt that migrates to road surfaces from the site during construction shall be cleaned daily.

Road Cuts: it is understood that if construction requires the Builder to cut into, under, or across any road or right-of-way for any reason, the Builder is completely responsible for repair satisfactory to the ARC. Tunneling is the preferred method when providing access for waste drain fields, cable, water or utilities; however, if tunneling is not feasible a permit shall be required for all road cuts. Lifts of no more than 8 inches, fully tamped and smoothed shall be utilized to fill all cuts. If the cut settles within 12 months, the Builder shall be required to repair the roadway satisfactorily at his or her expense. Driveway cuts within fifty feet (50') of the intersection of adjacent roads are not permitted without the prior express written consent of ARC.

Permitted Construction Hours

Construction hours shall be defined as:

- 7 am to 7 pm, Monday through Friday
- 7 am to 4 pm on Saturdays

The use of heavy earthmoving equipment or noisy outside construction on Saturdays after 4:00 pm is prohibited. No construction or related activity is permitted on Sundays or Holidays.

Recognized Holidays Defined

- New Years Day
- Memorial Day
- July 4th
- Labor Day
- Thanksgiving
- Christmas Day



Construction Site Maintenance

All sites must be maintained in a clean and orderly condition. Note: the builder to whom the building permit is issued is responsible for his own activities and those of all of his subcontractors.

- Lot lines shall be marked off and all clearing debris removed 25 days before construction begins.
- All permits shall be properly displayed near the roadside.
- A builder's sign, no larger than 2' x 3', must be posted when the building permit is granted and must be removed when the certificate of occupancy is issued. No sub-contractor signs are permitted.
- All port-a-johns shall be sited well off roadways and near the construction space. Their doorways should not face streets or adjacent properties. They must be promptly removed from the site when work is completed.
- All construction sites shall have a dumpster or equal solid bottom trash container to hold construction residue including lunch trash, bottles and cans. Plywood "pens" are prohibited.
- The builder is responsible for policing the site at the end of every workday and maintaining dumpster contents to a reasonable level.
- No open burning is permitted at any time. Burning and burying of debris is prohibited. Burning of construction debris shall be subject to a fine of \$200.00 for each violation.
- Construction personnel must give due consideration to adjoining property when parking. Parking should be on the lot where the construction is taking place whenever possible.
- Temporary parking is permitted on rights of way. At ARC's discretion, construction worker carpooling may be required.



- Builders are responsible for keeping mud/dirt off community streets. Gravel construction entrances are encouraged.
- If a vehicle or trailer is left overnight, it shall be parked well off the roadway and must be removed when it is no longer required.
- Long-term parking (in excess of 72 hours) is prohibited without ARC approval.
- Upon completion of construction all excess materials shall be removed or stored out of sight.
- No construction materials may be delivered to a construction site until all permits are issued and not earlier than two weeks prior to the start of construction.
- No construction materials may be stored on vacant lots or street rights-of-way.
- No loud music or fishing is allowed.
- All materials will be kept orderly, neat, and contained. Materials must be secured so as not to blow around in the wind.
- Builders shall be responsible for the repair of any damage to adjacent property occurring during construction including, but not limited to, such things as disturbed easements or rights-of-way on adjacent/across the street areas caused by vehicle parking, street, sidewalk/walkway or curb damage and live tree/vegetation damage. Repair of disturbed right of ways shall be repaired to original or better condition to include the application of perennial grass seed of the same type as the surrounding grass.

Construction Completion

Construction of house, driveway and sidewalks must be completed within twelve (12) months. If construction is not completed within twelve (12) months of commencement, fines may be levied.



Schedule of Fines

The following is a schedule of fines that may be levied when an owner, builder or contractor violates any rule, regulation or covenant of Ocean Isle Palms. Fines will be deducted from the Construction Deposit. Should the deposit be depleted, fines shall become the personal liability of the owner.

Construction does not conform to the final ARC approved plans: \$500.00 per violation. This could also warrant expulsion of contractor.

Occupying a new house prior to ARC sign off: \$100.00 per calendar day.

Landscaping not substantially complete within 60 days of ARC sign off: \$25.00 per calendar day.

Failure to prevent water drainage and/or soil erosion control: \$250.00 per violation plus restoration costs.

Damage to road pavement, curb, other improvements in right of way or common areas: \$250.00 per violation plus restoration costs.

Dirt/mud on community streets. If not cleaned off within 24 hours of notification, a fine of \$200.00 may result.

Homes not completed within 12 months of start date shall incur a fine of \$250.00 per calendar month beyond 12 months.



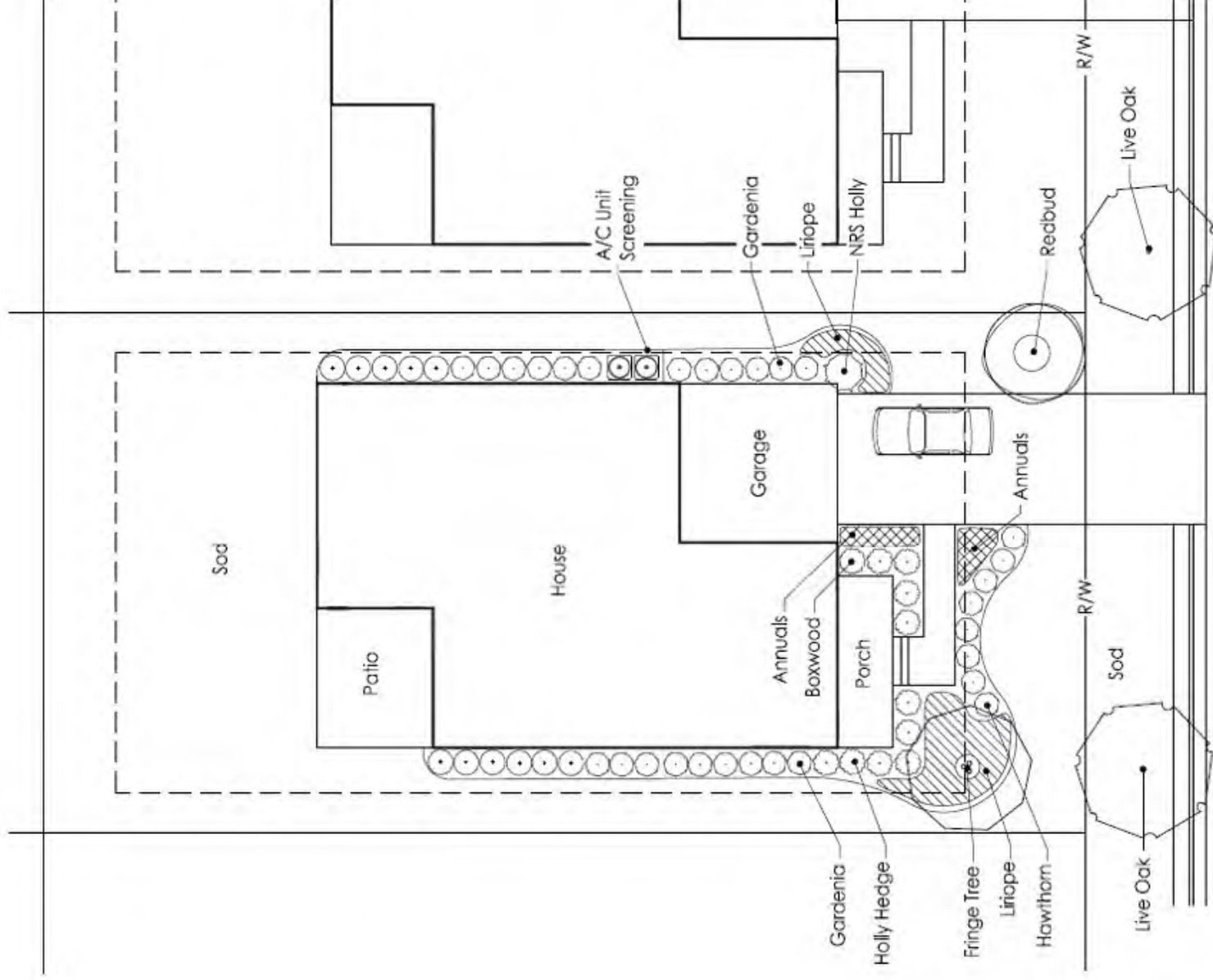
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Appendix A

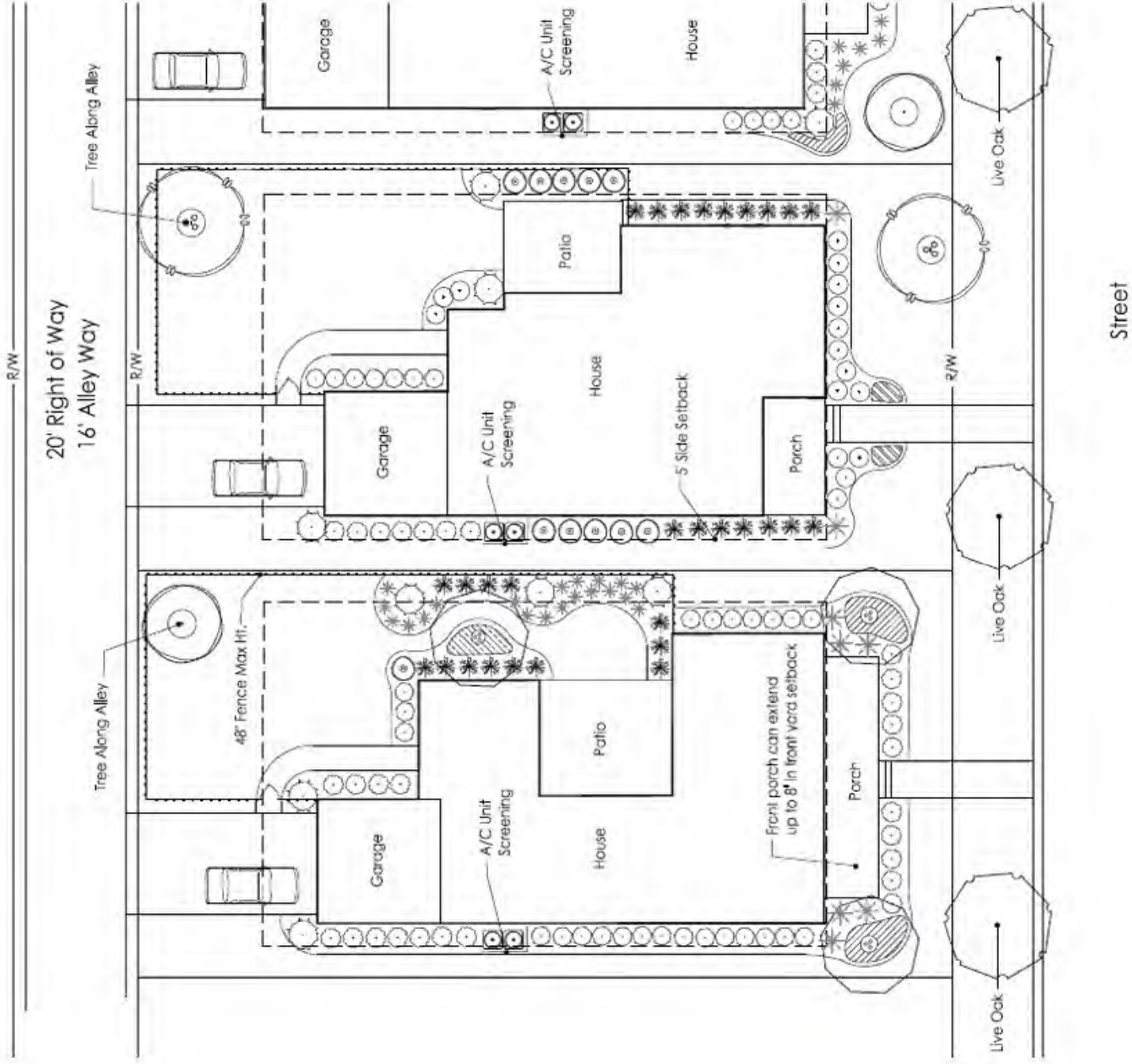
Typical Lot Layout & Home Siting Plan

Appendix A: Typical Lot Layout & Home Siting Plan

Plan 1: Typical Lot Plan



Plan 2 – Typical Alley Loaded Lot





Appendix B

Preferred Plant List

Appendix B: Preferred Plant List

BOTANICAL NAME	COMMON NAME
<i>Shade Trees</i>	
<i>Acer rubrum</i>	Red Maple
<i>Acer barbatum</i>	Southern Sugar Maple
<i>Betula nigra</i>	River Birch
<i>Carya cordiformis</i>	Bitternut Hickory
<i>Carya glabra</i>	Pignut Hickory
<i>Cladrastis kentukea</i>	Yellowwood
<i>Fagus grandifolia</i>	American Beech
<i>Metasequoia glyptostroboides</i>	Dawn Redwood
<i>Myrica cerifera</i>	Tree Form Wax Myrtle
<i>Nyssa sylvatica</i>	Black Gum
<i>Platanus occidentalis</i>	American Sycamore
<i>Quercus bicolor</i>	Swamp Oak
<i>Quercus falcata</i>	Southern Red Oak
<i>Quercus lyrata</i>	Overcup Oak
<i>Quercus palustris</i>	Pin Oak
<i>Quercus phellos</i>	Willow Oak
<i>Quercus virginiana</i>	Live Oak
<i>Taxodium ascendens</i>	Pond Cypress
<i>Taxodium distichum</i>	Baldcypress
<i>Ulmus alata</i>	Winged Elm
<i>Ulmus americanus</i>	American Elm
<i>Ulmus parvifolia</i>	Chinese Elm
<i>Evergreen Trees</i>	
<i>Ilex x 'Emily Bruner'</i>	Emily Bruner Holly
<i>Ilex x 'Nellie R. Stevens'</i>	Nellie R. Stevens Holly
<i>Ilex opaca</i>	American Holly
<i>Ilex vomitoria</i>	Tree Form Yaupon Holly
<i>Juniperus virginiana</i>	Eastern Red Cedar
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Magnolia virginiana</i>	Sweet Bay Magnolia
<i>Myrica cerifera</i>	Tree Form Wax Myrtle
<i>Pinus palustris</i>	Longleaf Pine
<i>Pinus taeda</i>	Loblolly Pine

BOTANICAL NAME	COMMON NAME
<i>Palms</i>	
Cycas revoluta	Sago Palm
Rhapisophyllum hystrix	Needle Palm
Sabal palmetto	Cabbage Palm
<i>Ornamental/Flowering Trees</i>	
Amelanchier arborea	Serviceberry
Carpinus caroliniana	American Hornbeam
Carpinus betulus	European Hornbeam
Cercis canadensis	Redbud
Chionanthus virginicus	Fringe Tree
Cornus florida	Dogwood
Cornus kousa	Chinese Dogwood
Halesia carolina	Carolina Silverbell
Gordonia lasianthus	Loblolly Bay
Lagerstroemia Indica	Grape Myrtle
Magnolia x soulangiana	Saucer Magnolia
Malus angustifolia	Southern Carbabple
Ostrya virginiana	American Hophornbeam
Oxydendrum arboretum	Sourwood
Pistacia chinensis	Chinese Pistachie
Sassafras albidum	Sassafras
Vitex agnus-castus	Vitex Tree

<i>BOTANICAL NAME</i>	<i>COMMON NAME</i>
<i>Shrubs</i>	
Buxus microphylla var. koreana Wintergreen	Wintergreen Boxwood
Camellia sasanqua	Japanese Camilla
Cleyera Japonica	Japanese Cleyera
Clethra alnifolia	Sweet Pepperbush
Fatsia japonica	Fastia
Forsythia x intermedia	Forsythia
Fothergilla major	Fothergilla
Gardenia jasminoides	Gardenia
Hypericum calycinum	St. John's Wort
Hydrangea species	Hydrangea
Ilex cornuta 'Carissa'	Carissa Holly
Ilex cornuta 'Needlepoint'	Dwarf Burford Holly
Ilex crenata 'Helleri'	Helleri Holly
Ilex vomitoria 'Stokes'	Dwarf Schillings Holly
Ilex glabra	Inkberry Holly
Illicium floridanum	Illicium
Itea virginica	Itea
Loropetalum chinense	Loropetalum
Myrica cerifera	Wax Myrtle
Nandina domestice	Nandina
Osmanthus fragrans	Tea Olive
Osmanthus x fortunei	Tea Olive
Pittosporum tobira	Pittosporum
Raphiolepis indica	Indian Hawthorn
Rhododendron species	Azalea
Rosa species	Rosa
Spirea species	Spirea
Viburnum species	Viburnum
Sabal minor	Dwarf Palmetto
Yucca filamentosa	Yucca

<i>BOTANICAL NAME</i>	<i>COMMON NAME</i>
<i>Ground cover</i>	
Euonymus	Winter Creeper
Liriope muscari 'Evergreen Gaint'	Evergreen Gaint Liriope
Liriope muscari	Liriope
Liriope spicata	Creeping Liriope
Ophiopogon species	Mondo Grass
Trachelospermum asiaticum	Asiatic Jasmine
Hemerocallis hybrida "Happy Returns"	Happy Returns Daylily
Miscanthus sinensis 'Gracillimus'	Gracillimus Maiden Grass
Muhlenbergia capillaris	Muhly Grass
Panicum virgatum	Switchgrass
<i>Vines</i>	
Bignonia capreolata	Cross vine
Clematis species	Clematis
Ficus pumila	Creeping Fig
Decumaria barbara	Climbing Hydrangea
Gelsemium sempervirens	Carolina Jessamine
Lonicera sempervirens	Coral Honeysuckle
Parthenocussus quinquefolia	Virginia Creeper
Rosa banksiae	Lady Banks Rose
Trachelospermum jasminoides	Star Jasmine
<i>Sod</i>	
Cynodon dactylon	TifBlair Centipede



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Appendix C

Submittal Forms & Fee Schedule



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Initial On-Site Review Request

Date: _____

All Submittals in PDF format and correspondence with the ARC to:
jwood@associatedasset.com

Please reference Homeowner Name and Address in Subject.

Property
Owner: _____

Homesite # _____

Street
Address _____

Telephone: _____ Email: _____

Architect/Designer: _____

Telephone: _____ Email: _____

FOR ARC USE ONLY BELOW

Received
By: _____ Date _____



ST. BOURKE

***All PDF Digital Submittals Referencing
Owners Name in Subject Line to:
jwood@associatedasset.com***

Property Owner/Lot # _____

Date _____

Contractor _____

CONSTRUCTION ADDRESS _____

_____ One PDF of Architectural Plans Showing Front Elevation, Side Elevation, Rear Elevation, and Floor Plans drawn at a scale of $\frac{1}{4}" = 1'$.

_____ One PDF Site Plan of the property showing Building footprint, Lot Lines, Setback Lines, Existing and Proposed Walkways, Porches, Driveways, Garage Orientation, and tree survey. Including all items itemized under Building Size and Lot Coverage listed below.

_____ One PDF Landscape Plan of the property identifying Lawn areas, Planting Areas, Location of Existing Trees, Proposed Trees, Shrubs and Ground Cover, Patio Locations, Walls, Fences and other Landscape elements to be proposed.



**The following items must be indicated on plans or included
narrative/site report as agreed between ARC
and Owner/Contractor:**

1. Lot Clearing, Filling, Grading & Drainage of Site
2. Home and Improvements Placement
3. Outbuildings, Ancillary Structures, Decks & Pools
4. Location and dimensions of Trench Drain Detail
5. Total of Impervious Built Upon Area (BUA) (certified by surveyor or engineer)
6. Paving Materials Detail
7. Foundation Materials Detail
8. Siding Material Detail
9. Elevation Details for Front Door & Garage Doors.
10. Preliminary Color Swatches
11. Roof Materials & Accessories Detail
12. Windows & Openings along with Window Trim
13. Landscape Plan with Plant Types, Sizes and Counts
14. Irrigation Plan
15. Fencing Plan, If applicable
16. Rooflines, Overhangs & Gutters
17. Exterior Lighting
18. Exterior Finishes
19. Screening (Trash Receptacles, HVAC, Satellite Dish)



Items to be submitted for review.

Siding:

Material _____ Color _____

Stucco:

Material _____ Color _____

Brick:

Material _____ Color _____

Roofing:

Material _____ Color _____

Facia/Trim:

Material _____ Color _____

Shutters:

Material _____ Color _____

Front Door:

Material _____ Color _____

Ex. Doors:

Material _____ Color _____

Windows:

Material _____ Color _____

Garage Door:

Material _____ Color _____

Other:

Material _____ Color _____

Other:

Material _____ Color _____

Other:

Material _____ Color _____

FOR ARC USE ONLY BELOW

Received

By: _____ Date _____



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MAIL THIS FORM WITH APPLICABLE FEES TO:
OCEAN ISLE PALMS HOMEOWNERS ASSOCIATION, INC.

Jessica Wood
2411 N. Oak St., Suite 404-E
Myrtle Beach, SC 29577
919-276-6001

Final Plan Review Application/OIP ARC

Property
Owner/Lot # _____ **Date** _____

Payable to: Ocean Isle Palms Homeowners Association, INC

Please reference Owner's name in memo line:

Receipt of **Non-Refundable** Review and Construction Deposits.

Check #	_____	Date	_____	New Home Design Review	\$1,750.00
Check #	_____	Date	_____	Additions, Renovations & Misc.	\$1,000.00
Check #	_____	Date	_____	Pools & Spas	\$500.00
Check #	_____	Date	_____	Road Access Fee	\$300.00*

*Note: Non-Refundable Road Access Fee is required for each construction project above.

Receipt of **Refundable** Construction Deposits/Date.

Payable to: Ocean Isle Palms Homeowners Association, INC

Check #	_____	Date	_____	New Home Construction Deposit	\$2,750.00
Check #	_____	Date	_____	Additions & Renovation Deposit	\$2,250.00
Check #	_____	Date	_____	Pools, Spas, Misc. Deposit	\$1,750.00
Check #	_____	Date	_____	Road and Curb Deposit	\$500.00*

*Note: Refundable Road and Curb Deposit is required for each construction project above.

FOR ARC USE ONLY BELOW

Received

By: _____ Date _____